



REGULAR MEETING OF THE SAN MARCOS PLANNING AND ZONING COMMISSION

Tuesday, September 25, 2012, 6:00 p.m.

City Council Chambers
630 E. Hopkins Street

Bill Taylor, Chair
Curtis Seebeck, Vice-Chair
Randy Bryan, Commissioner
Chris Wood, Commissioner
Travis Kelsey, Commissioner
Kenneth Ehlers, Commissioner
Carter Morris, Commissioner
Bucky Couch, Commissioner
Corey Carothers, Commissioner

AGENDA

1. **Call to Order.**
2. **Roll Call.**
3. **Chairperson's Opening Remarks.**
4. ***NOTE:*** *The Planning & Zoning Commission may adjourn into Executive Session to consider any item listed on this agenda if a matter is raised that is appropriate for Executive Session discussion. An announcement will be made of the basis for the Executive Session discussion. The Planning and Zoning Commission may also publicly discuss any item listed on the agenda for Executive Session.*

5. **30 Minute Citizen Comment Period.**

CONSENT AGENDA:

6. **Consider the approval of the minutes from the Regular Meeting on September 11, 2012.**

PUBLIC HEARINGS:

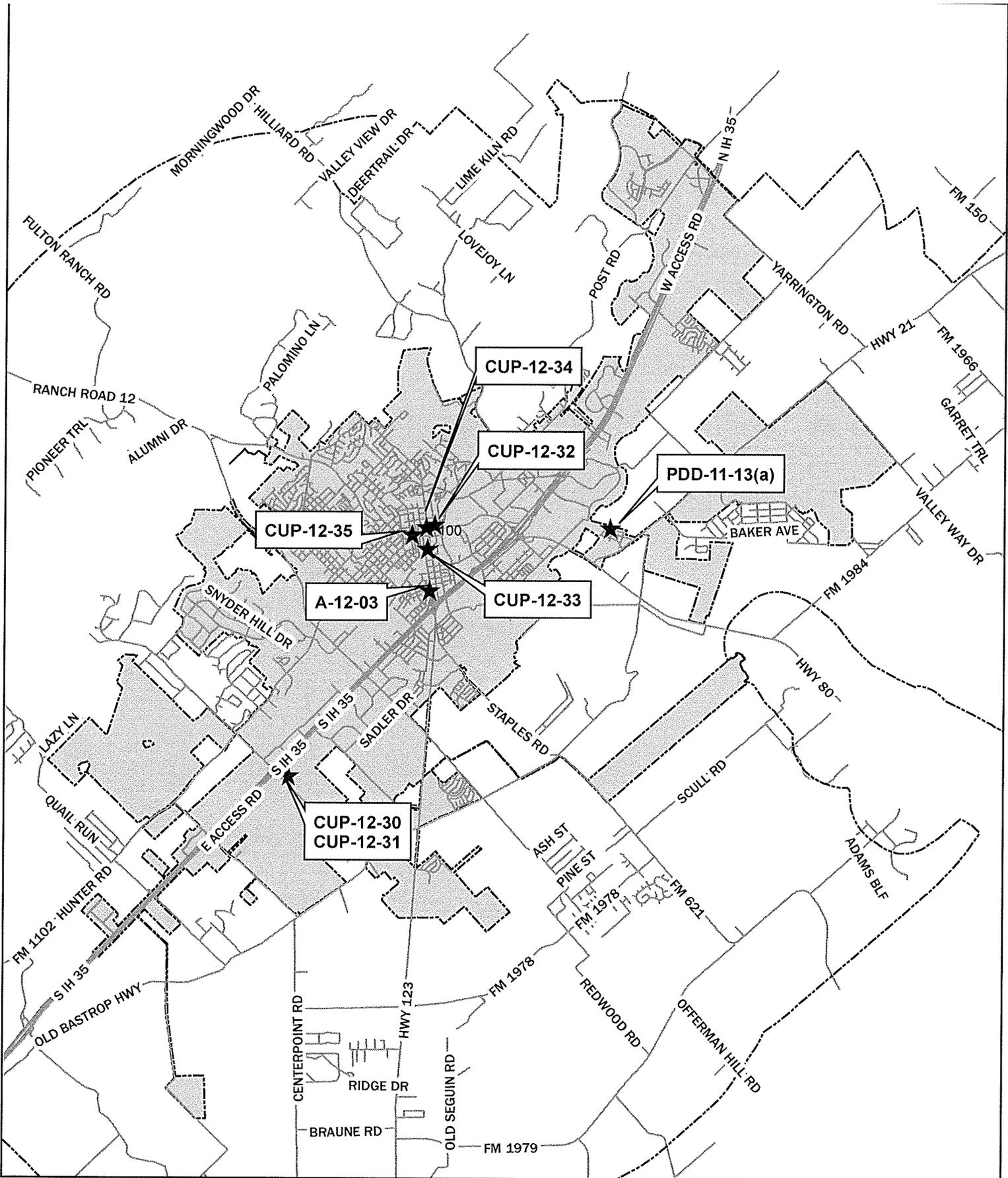
7. **CUP-12-30 (Embassy Suites Hotel)** Hold a public hearing and consider a request by San Marcos ES Catering, on behalf of Embassy Suites Hotel, for the renewal of the existing Conditional Use Permit to allow the continued sale of mixed beverages for on-premise consumption at 1001 E. McCarty Lane.
8. **CUP-12-31 (Embassy Suites Conference Center)** Hold a public hearing and consider a request by San Marcos ES Catering, on behalf of Embassy Suites and City of San Marcos Conference Center, for the renewal of the existing Conditional Use Permit to allow the continued sale of mixed beverages for on-premise consumption at 1001 E. McCarty Lane.
9. **CUP-12-32 (Cedars Mediterranean Café)** Hold a public hearing and consider a request by Cedars Mediterranean Cafe for renewal of an existing SmartCode Warrant. The proposed renewal would allow the continued use of a smoking lounge at 220 N. Edward Gary.

10. **CUP-12-33 (Wok and Roll)** Hold a public hearing and consider a request by Mei Wan Lai, on behalf of Wok & Roll Restaurant, for renewal of an existing Conditional Use Permit to allow the continued sale of beer and wine for on-premise consumption at 812 S. Guadalupe Street.
11. **CUP-12-34 (Stratosphere Lounge)** Hold a public hearing and consider a request by the Stratosphere Lounge for the renewal of an existing SmartCode Warrant. The proposed renewal would allow the continued use of a smoking lounge at 235-B N. LBJ Drive.
12. **CUP-12-35 (Tantra Coffeehouse)** Hold a public hearing and consider a request by Nathan Todd, on behalf of Tantra Coffeehouse, for renewal of an existing Conditional Use Permit to allow the continued sale of beer and wine for on-premise consumption at 217 W. Hopkins Street.
13. **A-12-03 (100 E. MLK)** Hold a public hearing and consider a request by James Garza on behalf of Hays County for the abandonment of an approximately 108 foot by 22 foot segment of alley in the 100 block of E. MLK Drive.

NON CONSENT:

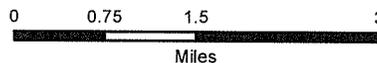
14. **PDD-11-13(a) (Amendment to Blanco River Village PDD)** Consider a request by Scott Bauer, on behalf of Bigelow San Marcos Development, L.L.C., to amend the text of the existing Development Standards for the Blanco River Village Planned Development District ("PDD"), consisting of 103.788 acres of land, more or less, located in the 1400 through 1900 blocks of State Highway 21, as originally approved by Ordinances 2004-61 and 2008-49, and amended by Ordinance 2012-02, for the purpose of allowing a smaller street section to allow a courtyard housing type.
15. **LDC-12-13 (Downtown Architectural Standards)** Consider various revisions to Subpart C of the City Code (the SmartCode) including modifying the signage and lighting standards and adding architectural requirements.
16. **Development Services Report**
 - a) Update from staff on the Comprehensive Plan
17. **Question and Answer Session with Press and Public.** *This is an opportunity for the Press and Public to ask questions related to items on this agenda.*
18. Adjourn.

Notice of Assistance at the Public Meetings: The San Marcos City Hall is wheelchair accessible. The entry ramp is located in the front of the building. Accessible parking spaces are also available in that area. Sign interpretative for meetings must be made 48 hours in advance of the meeting. Call the City Clerk's Office at 512-393-8090.



**Planning and Zoning
Commission Meeting
September 25, 2012
Location Map**

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**MINUTES OF THE REGULAR MEETING OF THE
SAN MARCOS PLANNING AND ZONING COMMISSION
COUNCIL CHAMBERS, CITY HALL
September 11, 2012**

1. Present

Commissioners:

Bill Taylor, Chair
Curtis Seebeck, Vice Chair
Chris Wood
Corey Carothers
Randy Bryan
Carter Morris
Travis Kelsey

City Staff:

Kristy Stark, Development Services Assistant Director
Roxanne Nemcik, Assistant City Attorney
Francis Serna, Recording Secretary
Alison Brake, Planner
Emily Koller, Planning Tech

2. Call to Order and a Quorum is Present.

With a quorum present, the Regular Meeting of the San Marcos Planning & Zoning Commission was called to order by Chair Taylor at 6:00 p.m. on Tuesday September 11, 2012, in the Council Chambers, City Hall, City of San Marcos, 630 E. Hopkins, San Marcos, Texas 78666.

3. Chairperson's Opening Remarks.

Chair Taylor welcomed audience and viewers.

4. NOTE: *The Planning & Zoning Commission may adjourn into Executive Session to consider any item listed on this agenda if a matter is raised that is appropriate for Executive Session discussion. An announcement will be made of the basis for the Executive Session discussion. The Planning and Zoning Commission may also publicly discuss any item listed on the agenda for Executive Session.*

5. 30 Minute Citizen Comment Period

Rich Norton, 264 Newberry Trail, stated he was a homeowner in the Blanco River Village Subdivision. He asked the Commission to not approve the request. Mr. Norton explained that the original proposed development included a few condos. He expressed his concerns regarding condos in the subdivision. Mr. Norton added that the applicant also advised the neighborhood that there would not be a problem with college students and they would also install speed bumps. Mr. Norton stated there are currently college students living in the homes and that has been a problem with traffic. No speed bumps were installed on the main streets of the subdivision. Mr. Norton added that he is very unhappy. He felt that if approved the development is going to increase traffic issue and add issues for the single families currently in the subdivision. He said a Homeowners Association has not been formed.

Tiffany Jimenez, 251 Rush Haven, said she purchased her home six years ago and that the dream home that she purchased is very far from where it is heading. She felt that approving the request will decrease her property value and her dream will be further diminished. Ms. Jimenez said she was told that the subdivision would be like Plum Creek with only single family homes. She added that there is a problem with college kids driving speeding down the street at 3:00 a.m. Ms. Jimenez commented that the community is growing with

families and children playing outside. She said that she is also concerned with college kids speeding down the street and music blaring between 12 a.m. and 3 a.m. She pointed out that they were told that the townhomes would be a sound barrier between the single family homes and the railroad tracks. Ms. Jimenez stated that she understands having a barrier but is concerned with additional townhomes in the subdivision. She said that they depreciate the value of her home and that her investment has been blown. Ms. Jimenez mentioned that traffic is also an issue turning into the subdivision with people speeding on Hwy. 21. She asked the Commission to think about other homes being affected by the request. Ms. Jimenez asked the Commission to not grant the zoning change.

Commissioner Morris recused himself from the Consent Agenda.

Consent Agenda:

6. Consider the approval of the minutes from the Regular Meeting on August 28, 2012.

7. PC-12-23(03) (Cottonwood Creek, Phase 1, Section 1-D Final Plat) Consider a request by Ramsey Engineering, LLC, on behalf of Cottonwood Creek JDR, LTD, for approval of a Final Plat for approximately 13.562 acres out of the previously recorded Cottonwood Creek Phase 1, Section 1-A, Subdivision near the intersection of State Highway 123 and Monterrey Oak.

MOTION: Upon a motion made by Commissioner Seebeck and a second by Commissioner Bryan, the Commission voted on consent to approve the minutes from the Regular Meeting on August 28, 2012 and PC-12-23(03). The motion carried unanimously.

Public Hearings:

8. A-12-02 (Dale Drive) Hold a public hearing and consider a request by San Marcos Unitarian Universalist Fellowship to abandon a 300 foot by 50 foot portion of Dale Drive between Furman Avenue and Allen Street

Chair Taylor opened the public hearing. Dan Gibson 815 Hillyer, representing the San Marcos Unitarian Universalist Fellowship, explained that the property has never been used or maintained by the city. Mr. Gibson said the alley will probably never be developed as a street and gave a brief description of the adjacent properties. Mr. Gibson added that they have cleaned up the property in addition to the ROW. He pointed out that they will replat the property and will meet all requirements. Mr. Gibson said he is available to answer questions. There were no additional citizen comments and the public hearing was closed.

MOTION: Upon a motion made by Commissioner Morris and a second by Commissioner Bryan, the Commission voted to approve A-12-02 with the condition that a plat application is submitted prior to City Council consideration of the abandonment request. The motion carried unanimously.

9. PDD-11-13(a) (Amendment to Blanco River Village PDD) Hold a public hearing and discuss a request by Scott Bauer, on behalf of Bigelow San Marcos Development, L.L.C., to amend the text of the existing Development Standards for the Blanco River Village Planned Development District ("PDD"), consisting of 103.788 acres of land, more or less, located in the 1400 through 1900 blocks of State Highway 21, as originally approved by Ordinances 2004-61 and 2008-49, and amended by Ordinance 2012-02, for the purpose of allowing a smaller street section to allow a courtyard housing type.

Chair Taylor opened the public hearing. There were no citizen comments and the public hearing was closed.

Item posted for discussion only. Item 9 will be posted for consideration on the September 25, 2012 Planning Commission meeting.

10. PDA-12-03 (Cotton Center) Consider a request by Armbrust & Brown, PLLC on behalf of Walton Texas, LP ET AL, for a petition for a development agreement for approximately 1206 acres, more or less, out of the Thomas Maxwell Survey, Abstract No. 188, and the William Pettus Survey, Abstract No. 21, located off of State Highway 142 north of State Highway 80. Approval of this request would allow the applicant to start negotiations with the City of San Marcos for a development agreement for property located outside the city limits but within the Extra Territorial Jurisdiction.

Chair Taylor opened the public hearing. Amanda Marrow, 100 Congress, Austin Texas presented on behalf of Walton Texas. She said she was present to ask the Commission to support the staff's recommendation to start negotiations of the development agreement. Ms. Marrow stated she was available to answer questions. There were no additional citizen comments and the public hearing was closed.

MOTION: Upon a motion made by Commissioner Morris and a second by Commissioner Kelsey, the Commission voted to approve PDA-12-03. The motion carried unanimously.

Non Consent Agenda:

11. Development Services Report

- a. Update from staff on Comprehensive Plan

Kristy Stark encouraged everyone to attend the Comprehensive Plan Design Rodeo held at the Activity Center this week.

12. Question and Answer Session with Press and Public. *This is an opportunity for the Press and Public to ask questions related to items on this agenda.*

There were no questions from the press and public.

13. Adjourn.

Chair Taylor adjourned the Planning and Zoning Commission at 7:55 p.m. on Tuesday, September 11, 2012.

Bill Taylor, Chair

Curtis Seebeck, Commissioner

Corey Carothers, Commissioner

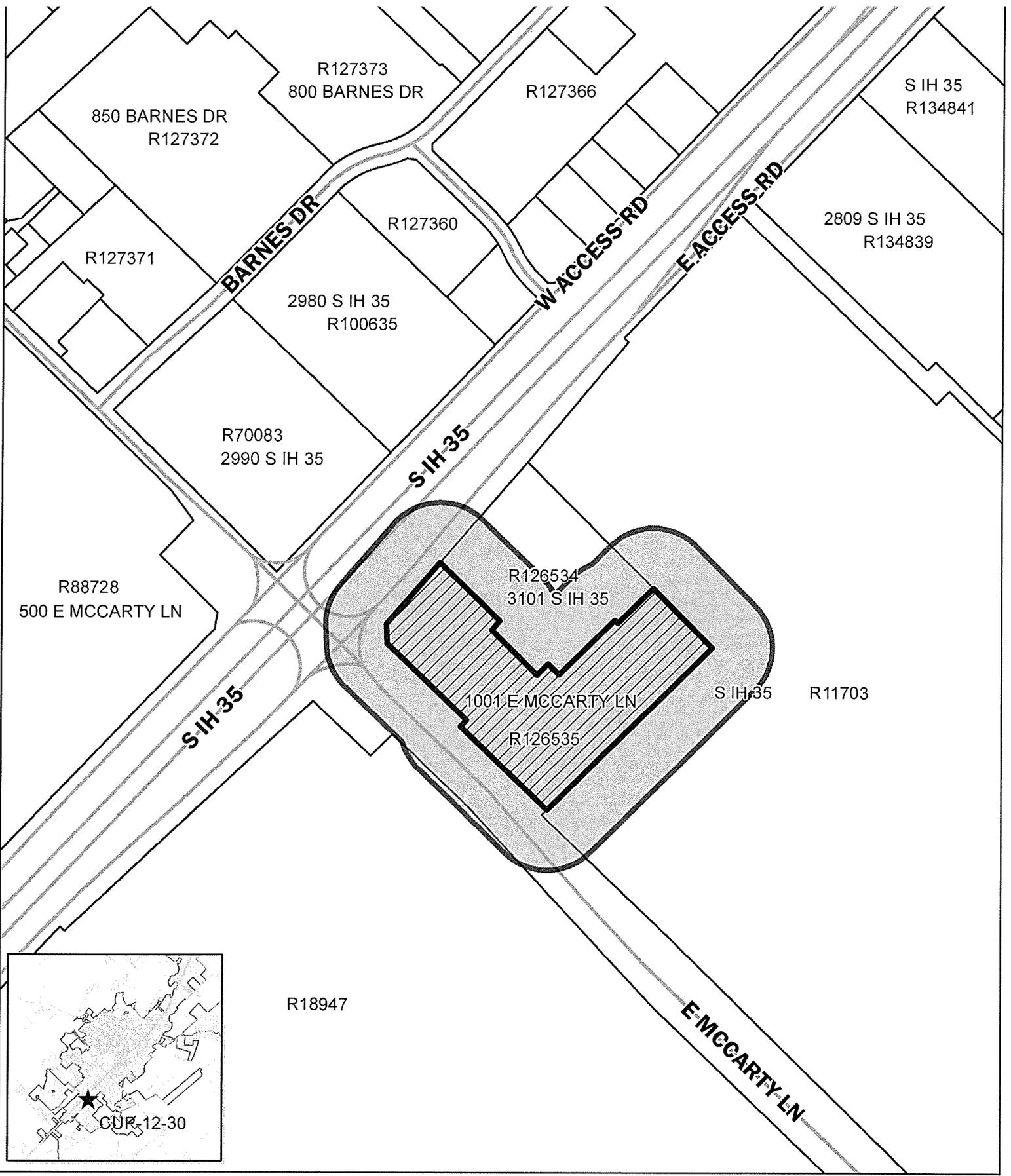
Randy Bryan, Commissioner

Carter Morris, Commissioner

Chris Wood, Commissioner

Travis Kelsey, Commissioner
ATTEST:

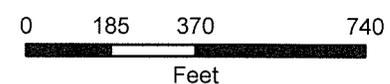
Francis Serna, Recording Secretary



CUP-12-30
Embassy Suites Hotel
Map Date: 09/12/12

-  Notification Buffer (200 feet)
-  Site Location
-  Historic District

This map was created by Development Services for reference purposes only. No warranty is made concerning the map's accuracy or completeness.



**CUP-12-30
 Conditional Use Permit Renewal
 The Embassy Suites Hotel
 1001 E. McCarty Lane**



Summary:

Applicant: San Marcos ES Catering Co.
 11003 Onion Creek Court
 Austin TX 78747

Property Owner: JQH San Marcos Development LLC
 300 John Q Hammons Pkwy Ste 900
 Springfield MO 65806

Applicant Request: Renewal of a Conditional Use Permit (CUP) to allow on-premise consumption of mixed beverages in a General Commercial zoning district

Notification Public hearing notification mailed on September 14, 2012.

Response: None as of September 19, 2012

Property/Area Profile:

Legal Description: Block A, Lot 2, Embassy Suites and City of San Marcos Conference Center Subdivision

Location: 1001 E. McCarty Lane

Existing Use of Property: Hotel/Conference Center

Proposed Use of Property: Hotel/Conference Center

Existing Zoning: GC

Future Land Use Map: Commercial

Sector: 5

Existing Utilities: Adequate

Zoning and Land Use Pattern:

	Current Zoning	Existing Land Use
N of Property	GC	Vacant
S of Property	GC	Vacant
E of Property	GC	Vacant
W of Property	GC	Commercial

Code Requirements:

A conditional use permit allows the establishment of uses which may be suitable only in certain locations or only when subject to standards and conditions that assure compatibility with adjoining uses. Conditional uses are generally compatible with permitted uses, but require individual review and imposition of conditions in order to ensure the appropriateness of the use at a particular location.

A business applying for on-premise consumption of alcohol must not be within 300 feet of a church, school, hospital, or a residence located in a low density residential zoning district. This location **does** meet the distance requirements. CUPs issued for on-premise consumption of alcohol make the business subject to the code standards and the penalty point system for violations (Section 4.3.4.2).

Comments from Other Departments:

Building, Engineering, Fire, Health, Police, and Code Enforcement have reported no major concerns regarding the subject property.

Background Information

The existing Conditional Use Permit at the Embassy Suites Hotel was initially approved by P&Z in 2008 for one year and again in October 2009 for three years. The applicant has stated that there have been no substantial structural or site changes since the original CUP was issued.

The hours of service are those allowed by TABC: 7:00 a.m. to 2:00 a.m. Monday-Saturday, and noon (or 10:00 a.m. with food) to midnight on Sunday. There are no entertainment facilities. Beverages are served from two locations – the Marketplace Café and the Atrium bar – in the lobby of the hotel, and food is served as well. Complimentary drinks are provided to hotel guests from 5:30-7:30 p.m. as part of the Manager’s Reception.

Planning Department Analysis:

The subject property is surrounded by commercially zoned vacant land and has become an established destination hotel in San Marcos. A Conditional Use Permit for alcohol sales is compatible with the surrounding uses. Staff has not received any citizen comments or comments from other departments.

In order to monitor new permits for on-premise consumption of alcohol, the Planning Department’s standard recommendation is that they be approved initially for a limited time period. Other new conditional use permits have been approved as follows:

- Initial approval for 1 year;
- Renewal for 3 years;
- Final approval for the life of the State TABC license, provided standards are met.

Staff provides this request to the Commission for your consideration and recommends approval of the Conditional Use Permit with the following condition:

- 1. The permit shall be valid for the lifetime of the State TABC license, provided standards are met.**

Planning Department Recommendation:	
	Approve as submitted
X	Approve with conditions or revisions as noted
	Alternative
	Denial

The Commission's Responsibility:

The Commission is required to hold a public hearing and receive comments regarding the proposed Conditional Use Permit. After considering public input, the Commission is charged with making a decision on the Permit. Commission approval is discretionary. The applicant, or any other aggrieved person, may submit a written appeal of the decision to the Planning Department within 10 working days of notification of the Commission's action, and the appeal shall be heard by the City Council.

The Commission's decision is discretionary. In evaluating the impact of the proposed conditional use on surrounding properties, the Commission should consider the extent to which the use:

- is consistent with the policies of the Master Plan and the general intent of the zoning district;
- is compatible with the character and integrity of adjacent developments and neighborhoods;
- includes improvements to mitigate development-related adverse impacts; and
- does not generate pedestrian or vehicular traffic which is hazardous or conflicts with existing traffic in the neighborhood.

Conditions may be attached to the CUP that the Commission deems necessary to mitigate adverse effects of the proposed use and to carry out the intent of the Code.

Prepared by:

Emily Koller

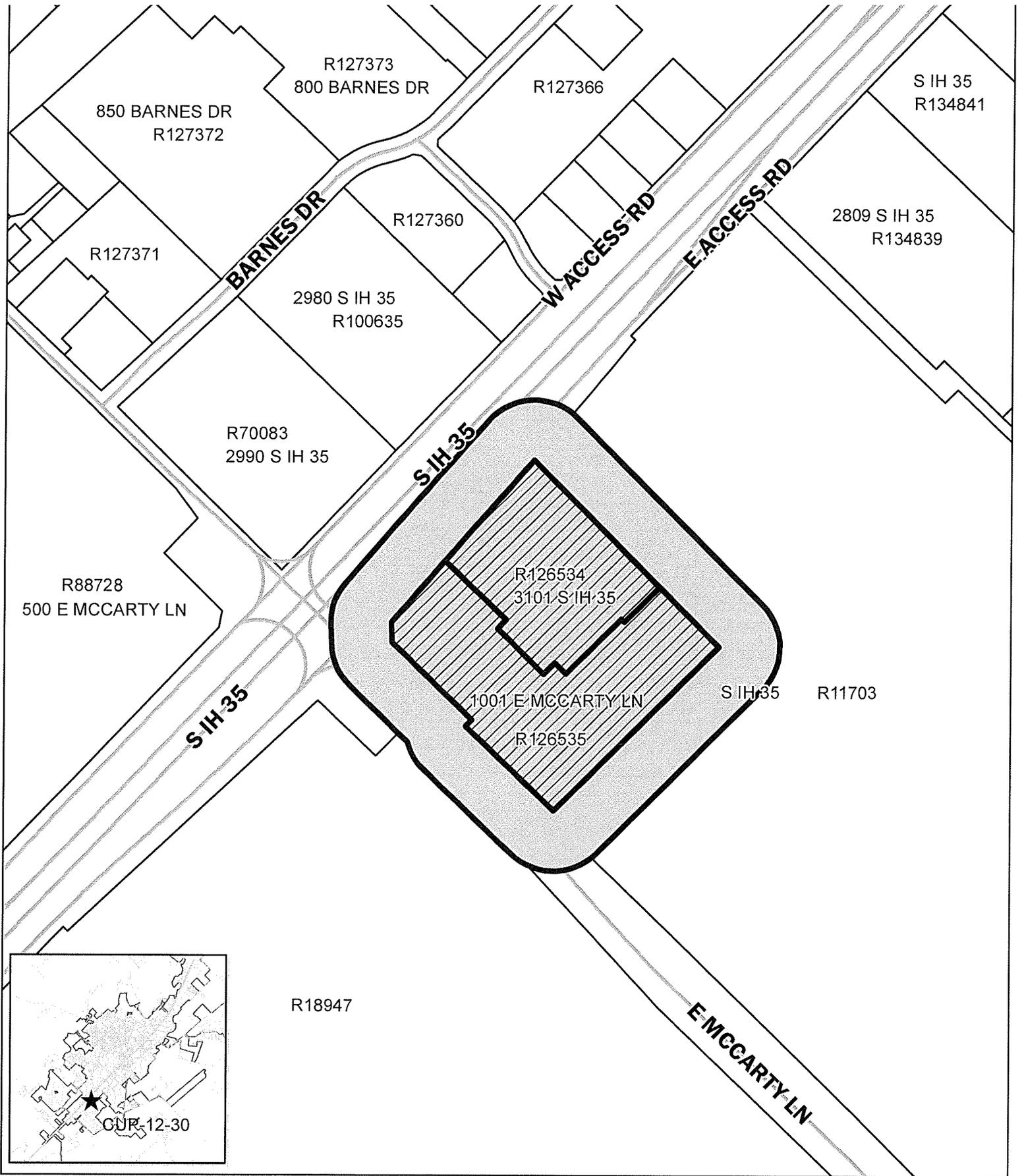
Planning Technician

9/17/2012

Name

Title

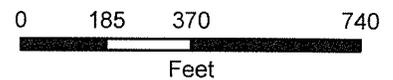
Date



CUP-12-31
Embassy Suites Hotel
COSM Conference Center
Map Date: 09/12/12

-  Notification Buffer (200 feet)
-  Site Location
-  Historic District

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**CUP-12-31
 Conditional Use Permit Renewal
 Embassy Suites/City of San Marcos
 Conference Center
 3101 S IH 35**



Summary:

Applicant: San Marcos ES Catering Co.
 11003 Onion Creek Court
 Austin TX 78747

Property Owner: City of San Marcos
 630 E. Hopkins
 San Marcos, TX 78666

Applicant Request: Renewal of a Conditional Use Permit (CUP) to allow on-premise consumption of mixed beverages in a General Commercial zoning district

Notification Public hearing notification mailed on September 14, 2012.

Response: None as of September 19, 2012

Property/Area Profile:

Legal Description: Block A, Lot 1, Embassy Suites and City of San Marcos Conference Center Subdivision

Location: 3101 S IH 35
Existing Use of Property: Conference Center
Proposed Use of Property: Conference Center
Existing Zoning GC
Future Land Use Map: Commercial
Sector: 5
Existing Utilities: Adequate

Zoning and Land Use Pattern:

	Current Zoning	Existing Land Use
N of Property	GC	Vacant
S of Property	GC	Vacant
E of Property	GC	Vacant
W of Property	GC	Commercial

Code Requirements:

A conditional use permit allows the establishment of uses which may be suitable only in certain locations or only when subject to standards and conditions that assure compatibility with adjoining uses. Conditional uses are generally compatible with permitted uses, but require individual review and imposition of conditions in order to ensure the appropriateness of the use at a particular location.

A business applying for on-premise consumption of alcohol must not be within 300 feet of a church, school, hospital, or a residence located in a low density residential zoning district. This location **does** meet the distance requirements. CUPs issued for on-premise consumption of alcohol make the business subject to the code standards and the penalty point system for violations (Section 4.3.4.2).

Comments from Other Departments:

Building, Engineering, Fire, Health, Police, and Code Enforcement have reported no major concerns regarding the subject property.

Background

The existing Conditional Use Permit at the Conference Center was initially approved by P&Z in 2008 for one year and again in October 2009 for three years. The applicant has stated that there have been no substantial structural or site changes since the original CUP was issued.

The hours of service for the Conference Center are as follows: 7:00 a.m. to 1:00 a.m. Monday-Saturday, and noon (or 10:00 a.m. with food) to midnight on Sunday. The hotel offers nine different event rooms and meeting spaces that can accommodate more than 4,700 depending on arrangement.

Planning Department Analysis:

The subject property is surrounded by commercially zoned vacant land and has become an established event destination in San Marcos. A Conditional Use Permit for alcohol sales is compatible with the surrounding uses. Staff has not received any citizen comments or comments from other departments.

In order to monitor new permits for on-premise consumption of alcohol, the Planning Department's standard recommendation is that they be approved initially for a limited time period. Other new conditional use permits have been approved as follows:

- Initial approval for 1 year;
- Renewal for 3 years;
- Final approval for the life of the State TABC license, provided standards are met.

Staff provides this request to the Commission for your consideration and recommends approval of the Conditional Use Permit with the following condition:

- 1. The permit shall be valid for the lifetime of the State TABC license, provided standards are met.**

Planning Department Recommendation:	
	Approve as submitted
X	Approve with conditions or revisions as noted
	Alternative
	Denial

The Commission's Responsibility:

The Commission is required to hold a public hearing and receive comments regarding the proposed Conditional Use Permit. After considering public input, the Commission is charged with making a decision on the Permit. Commission approval is discretionary. The applicant, or any other aggrieved person, may submit a written appeal of the decision to the Planning Department within 10 working days of notification of the Commission's action, and the appeal shall be heard by the City Council.

The Commission's decision is discretionary. In evaluating the impact of the proposed conditional use on surrounding properties, the Commission should consider the extent to which the use:

- is consistent with the policies of the Master Plan and the general intent of the zoning district;
- is compatible with the character and integrity of adjacent developments and neighborhoods;
- includes improvements to mitigate development-related adverse impacts; and
- does not generate pedestrian or vehicular traffic which is hazardous or conflicts with existing traffic in the neighborhood.

Conditions may be attached to the CUP that the Commission deems necessary to mitigate adverse effects of the proposed use and to carry out the intent of the Code.

Prepared by:

Emily Koller

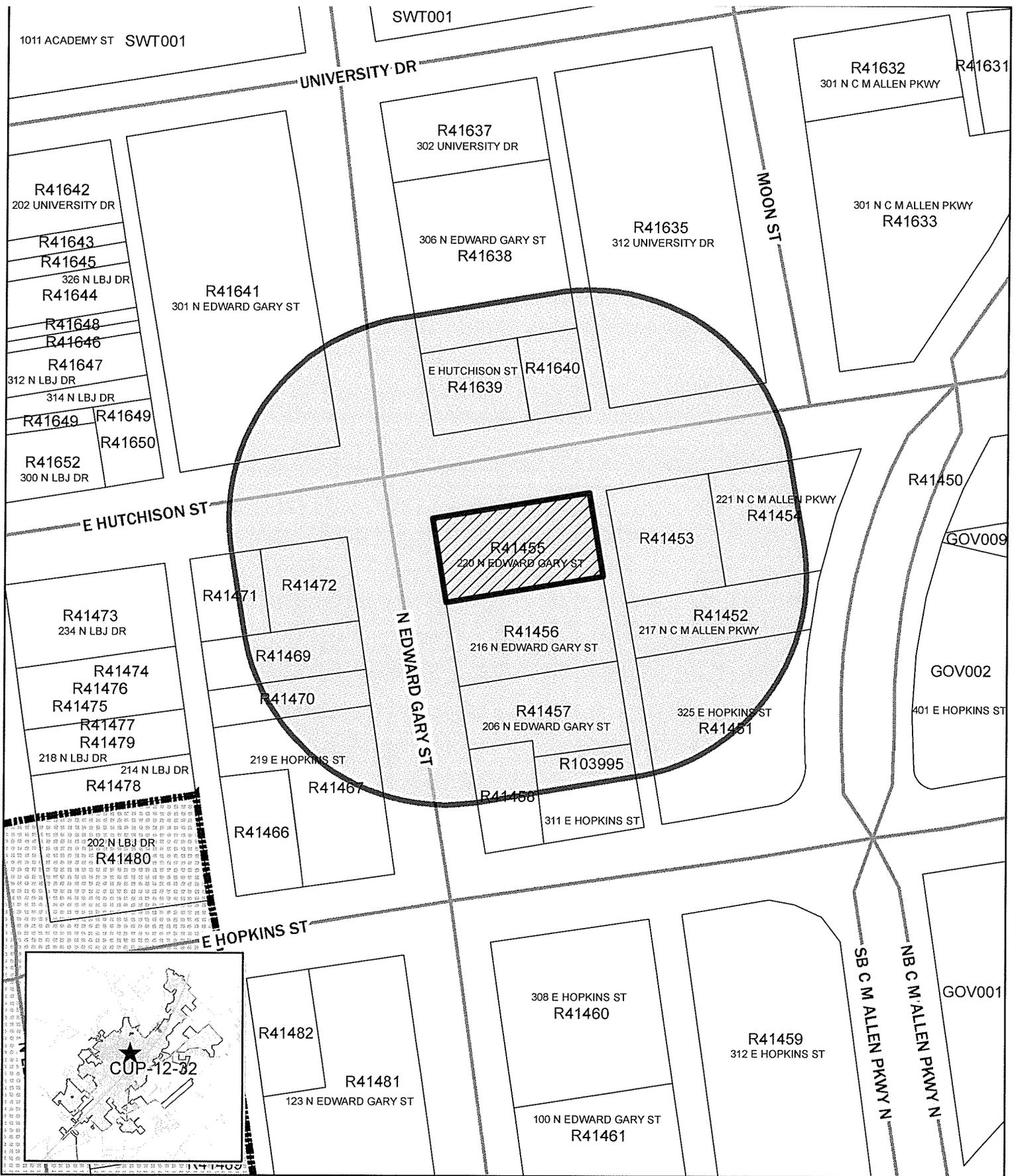
Planning Technician

9/17/2012

Name

Title

Date



CUP-12-32
Cedars Mediterranean Cafe
220 N. Edward Gary
Map Date: 09/10/12

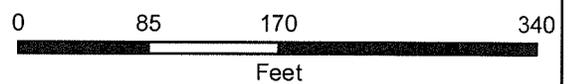


Notification Buffer
 (200 feet)



Site Location

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**CUP-12-32
SmartCode Warrant Renewal
Cedars Mediterranean Cafe
220 N. Edward Gary Street**



Summary:

Applicant: Cedars Mediterranean Cafe
220 N. Edward Gary Street
San Marcos, TX 78666

Property Owner: Carson Diversified Properties 2, LLC
1911 Corporate Dr. Suite 102
San Marcos, TX 78666

Applicant Request: Request for renewal of an existing SmartCode Warrant allowing a Smoking Lounge in a T5 zoning district.

Notification: Public hearing notification mailed on September 14, 2012.

Response: None

Property Area/Profile:

Location: 220 N. Edward Gary Street.

Legal Description: Lot 5, Block 4, Original Town of San Marcos

Frontage On: N. Edward Gary Street and E. Hutchinson

Expiration Date: September 27, 2012

Neighborhood: Downtown

Existing Zoning: T5

Future Land Use Map: NA

Sector: 8

Existing Utilities: Adequate

Existing Use of Property: Restaurant & Hookah Lounge

Zoning and Land Use Pattern:

	Current Zoning	Existing Land Use
N of Property	T5	Commercial
S of Property	T5	Commercial
E of Property	T5	Commercial
W of Property	T5	Commercial

Code Requirements:

Within the SmartCode district, the warrant process is equivalent to the CUP process. A warrant is a ruling that would permit a practice that is not consistent with a specific provision of the SmartCode, but is justified by the provisions of Section 1.3 Intent.

Comments from Other Departments:

There were no issues reported by Fire, Code Enforcement, SMEU, Police or Engineering.

Background:

This property is located on the northeast corner of the intersection of N. Edward Gary Street and E. Hutchinson Street and zoned T5 in the downtown SmartCode. It is surrounded by commercial uses. The Cedars Mediterranean Café opened in November of 2006. The space is just over 4,500 square feet with 114 indoor fixed seats and no outdoor seating. The subject property has 24 off-street parking spaces which meets the SmartCode requirements.

Planning Department Analysis:

When Cedars opened in 2006, a smoking/hookah lounge was not originally listed in the LDC’s land use matrix. The Commission held a public hearing to consider appropriate zoning for this use on June 13, 2006. It was determined that a smoking lounge should be permitted by right in HC, GC and I, and a conditional use in MU, CC, NC and CBA zoning districts.

The original CUP expired in July 2010. After implementation of the SmartCode, a smoking lounge was again not expressly permitted by right as a land use. In March 2012, Cedars requested a renewal of their lapsed CUP and the Commission determined that a smoking lounge can be allowed by SmartCode Warrant (CUP) since it met the original intent of the SmartCode under Section 1.3. It was approved for the initial 6-month period.

As in March of 2012, staff feels that the hookah bar is a compatible use with the surrounding area and that the maintenance of its current use would not create adverse effects on surrounding businesses. Staff believes the current use as a restaurant and hookah lounge meets the intent of the SmartCode under Section 1.3. The SmartCode calls for commercial activities to be embedded downtown and within walking distance of most dwellings. Cedars is located in close proximity to the university and provides amenities meeting the nature of those called for within the Smart Code.

According to the City’s Clean Air Ordinance (Section 34.256 et seq.), tobacco specialty shops are not required to designate a no-smoking area, although they are encouraged to do so whenever possible. A clearly visible sign should be placed at the entrance stating “Smoking is permitted throughout the entire area.”

Cedars Mediterranean Café has met the conditions of the initial 6-month review period and has submitted their second renewal in a timely manner.

Staff provides this request to the Commission for your consideration and recommends approval of the SmartCode Warrant with the following conditions:

- 1. The Warrant shall be valid for three (3) years; and**
- 2. Signage requirements of the Clean Air Ordinance are to be met with a clearly visible sign posted at the entrance stating that “Smoking is permitted throughout the entire area”.**

Planning Department Recommendation:	
	Approve as submitted
X	Approve with conditions or revisions as noted
	Alternative
	Denial

The Commission's Responsibility:

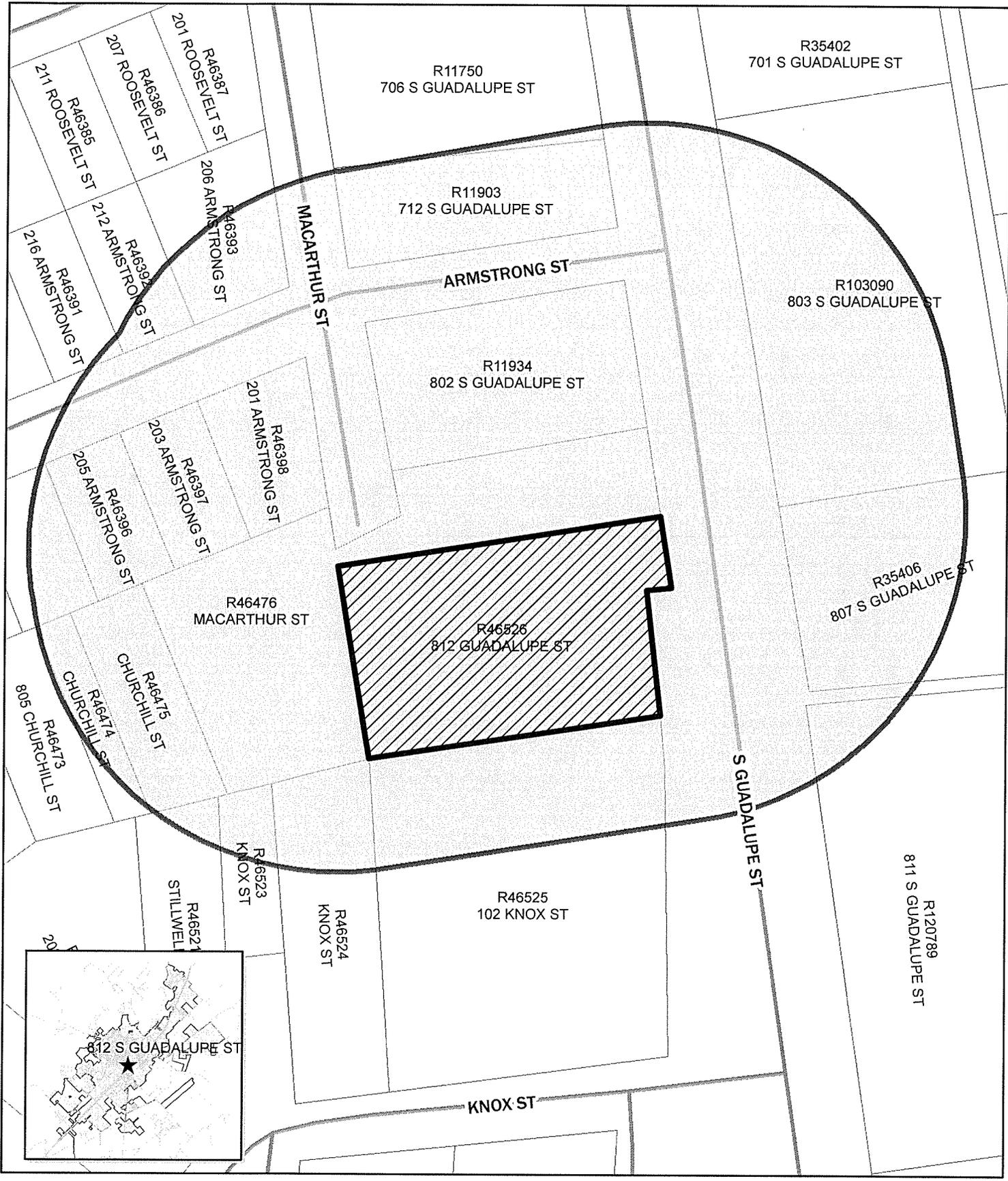
The Commission is required by law to hold a public hearing and receive public comment on this application. After considering the public input, the Commission is charged with making a decision to approve, approve with conditions, or deny the Conditional Use Permit. The applicant or any interested person may appeal the decision to City Council within 10 working days.

The Commission's decision is discretionary. In evaluating the impact of the proposed conditional use on surrounding properties, the Commission should consider the extent to which the use:

- is consistent with policies of the Master Plan and the general intent of the zoning district;
- is compatible with the character and integrity of adjacent developments and neighborhoods;
- includes improvements to mitigate development-related adverse impacts; and
- does not generate pedestrian or vehicular traffic which is hazardous or conflicts with existing traffic in the neighborhood.

Conditions may be attached to the CUP that the Commission deems necessary to mitigate adverse effects of the proposed use and to carry out the intent of the Code.

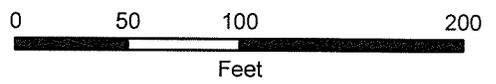
Emily Koller	Planning Technician	September 18, 2012
Name	Title	Date



CUP-12-33
Wok & Roll
812 S Guadalupe St
Map Date: 09/07/12

-  Notification Buffer (200 feet)
-  Site Location

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CUP-12-33

Conditional Use Permit

Wok & Roll Restaurant

812 S. Guadalupe Street



Applicant Information:

Applicant: Choon K.E., Johnny Lai, Mei Wan Lai (Wok & Roll Restaruant)

Mailing Address: 812 S. Guadalupe Street
San Marcos, TX 78666

Property Owner: George Forrester
812 S. Guadalupe Street, Suite 101
San Marcos, TX 78666

Applicant Request: Renewal of a Conditional Use Permit (CUP) to allow the on-premise consumption of beer and wine.

Public Hearing Notice: Public hearing notification was mailed on September 14, 2012.

Response: None as of September 20, 2012

Subject Property:

Expiration Date: October 10, 2012

Location: 812 S. Guadalupe Street

Legal Description: Victory Gardens #2, ½ of block 31

Frontage On: Guadalupe

Neighborhood: Victory Gardens

Existing Zoning: "T-5" – Urban Center

Sector: Sector 4

Utilities: Adequate

Existing Use of Property: Restaurant

Zoning and Land Use Pattern:

	Current Zoning	Existing Land Use
N of property	T-5	Commercial
S of property	T-5	Commercial
E of property	T-5	Commercial
W of property	CC/SF-6	Commercial/Single-family Residential

Code Requirements:

A Conditional Use Permit (CUP) allows the establishment of uses which may be suitable only in certain locations or only when subject to standards and conditions that assure compatibility with adjoining uses. Conditional uses are generally compatible with permitted uses, but require individual review and imposition of conditions in order to ensure the appropriateness of the use at a particular location.

A business applying for on-premise consumption of alcohol must not be within 300 feet of a church, school, hospital, or a residence located in a low density residential zoning district. This location **does** meet the distance requirements. This location is outside the Central Business Area (CBA) and is not subject to the additional requirements in the CBA.

CUPs issued for on-premise consumption of alcohol make the business subject to the code standards and the penalty point system for violations (Section 4.3.4.2).

Case Summary

Wok & Roll is a restaurant located at 812 S. Guadalupe Street, just south of Armstrong Street. The Commission first approved a CUP in January 2011 for one year to allow the on-premise consumption of beer and wine. The CUP was renewed for six months in April 2012, as the applicant had lapsed in submitting the renewal application. The applicant is requesting to renew the Conditional Use Permit. Currently, the applicant has an active TABC permit to allow the on-premise consumption of beer and wine. Staff sent out a letter in July 2012 reminding the applicant that the current CUP would be expiring on October 10, 2012. The application was received by staff on August 28, 2012.

The gross floor area is 3,375 square feet, which includes the outdoor above-ground deck, and there are 30 off-street parking spaces. The application indicates that the restaurant has an indoor seating capacity of 75 and an outdoor seating capacity of 20. The hours of operations are from 11 a.m. to 10 p.m. with no live entertainment proposed. The applicant is not proposing any other improvements to the structure at this time.

Comments from Other Departments:

Police, Health, Building, Engineering, and Code Enforcement have not reported major concerns regarding the subject property.

Planning Department Analysis:

This site is located in Sector 4 of the City and the current land use is permitted. While this site is surrounded by commercial uses the Victory Gardens neighborhood is located within walking distance from the restaurant which can service this adjacent neighborhood. Staff has not received any citizen comments or comments from other departments regarding this property.

In order to monitor new permits for on-premise consumption of alcohol, the Planning Department's standard recommendation is that they be approved initially for a limited time period. Other new conditional use permits have been approved as follows:

- Initial approval for 1 year;
- Renewal for 3 years;
- Final approval for the life of the State TABC license, provided standards are met.

As the applicant submitted the renewal application slightly over a month before the current CUP expires, staff recommends approval.

Staff provides this request to the Commission for your consideration and recommends approval of the Conditional Use Permit with the following conditions:

1. The permit shall be valid for three (3) years, provided standards are met, subject to the point system.

Planning Department Recommendation:	
	Approve as submitted
X	Approve with conditions or revisions as noted
	Alternative
	Denial

Commission's Responsibility:

The Commission is required to hold a public hearing and receive comments regarding the proposed Conditional Use Permit. After considering public input, the Commission is charged with making a decision on the Permit. Commission approval is discretionary. The applicant, or any other aggrieved person, may submit a written appeal of the decision to the Planning Department within 10 working days of notification of the Commission's action, and the appeal shall be heard by the City Council.

The Commission's decision is discretionary. In evaluating the impact of the proposed conditional use on surrounding properties, the Commission should consider the extent to which the use:

- is consistent with the policies of the Master Plan and the general intent of the zoning district;
- is compatible with the character and integrity of adjacent developments and neighborhoods;
- includes improvements to mitigate development-related adverse impacts; and
- does not generate pedestrian or vehicular traffic which is hazardous or conflicts with existing traffic in the neighborhood.

Conditions may be attached to the CUP that the Commission deems necessary to mitigate adverse effects of the proposed use and to carry out the intent of the Code.

Prepared by:

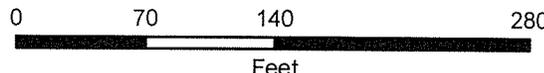
Alison Brake	Planner	9/17/2012
Name	Title	Date



CUP-12-34
Stratosphere Lounge
235-B N. LBJ Drive
Map Date: 09/14/12

-  Notification Buffer (200 feet)
-  Site Location

This map was created by Development Services for reference purposes only. No warranty is made concerning the map's accuracy or completeness.



**CUP-12-34
SmartCode Warrant Renewal
Stratosphere Lounge
235-B N. LBJ Drive**



Summary:

Applicant: The Stratosphere Lounge
235-B N. LBJ Drive
San Marcos, TX 78666

Property Owner: John and Ellen Burnside
1045 Erickson Rd
Helena, MT 59602

Applicant Request: Request for renewal of an existing general CUP/SmartCode Warrant allowing a smoking lounge in a T5 zoning district.

Notification: Public hearing notification mailed on September 14, 2012.

Response: None

Property Area/Profile:

Location: 235-B N. LBJ Drive

Legal Description: Lot part of 3-4, Block 20, Original Town of San Marcos

Frontage On: N. LBJ Drive

Expiration Date: October 9, 2012

Neighborhood: Downtown

Existing Zoning: T5

Future Land Use Map: NA

Sector: 8

Existing Utilities: Adequate

Existing Use of Property: Hookah Lounge

Zoning and Land Use Pattern:

	Current Zoning	Existing Land Use
N of Property	T5	Commercial
S of Property	T5	Commercial
E of Property	T5	Commercial
W of Property	T5	Commercial

Code Requirements:

Within the SmartCode district, the warrant process is equivalent to the CUP process. A warrant is a ruling that would permit a practice that is not consistent with a specific provision of the SmartCode, but is justified by the provisions of Section 1.3 Intent.

Comments from Other Departments:

There were no issues reported by Fire, Code Enforcement, SMEU, Police or Engineering.

Background:

This property is located within the 200 block of N. LBJ Drive, just off the Courthouse Square. It is zoned T5 and is surrounded by commercial uses. They are open from 6:00 p.m. to 2:00 a.m. Sunday-Thursday and 6:00 p.m. to 3:00 a.m. on Friday and Saturday. The Stratosphere Lounge opened in 2006 and focuses on retail sales and on-site consumption of flavored hookah tobacco. The Stratosphere Lounge is 18 and up and allows patrons to bring their own alcohol for those that are legal drinking age.

Planning Department Analysis:

When the Stratosphere Lounge opened in 2006, there was no category which fit the land use and it was referred to the Planning and Zoning Commission to determine if a smoking/hookah lounge was an appropriate use and what zoning district it should be allowed within. It was determined that a smoking lounge should be permitted by right in HC, GC and I, and a conditional use in MU, CC, NC and CBA zoning districts.

The initial CUP permit was approved in 2006 for one year and the renewal was approved for five years in October of 2007. After implementation of the SmartCode, a smoking lounge was again not expressly permitted by right as a land use. In March 2012, another hookah lounge requested a renewal of their lapsed CUP and the Commission determined that a smoking lounge can be allowed by SmartCode Warrant (CUP) since it met the original intent of the SmartCode under Section 1.3.

Staff feels that a hookah lounge is a compatible use with the surrounding area and that the maintenance of its current use would not create adverse effects on surrounding businesses. Staff believes the current use as a hookah lounge meets the intent of the SmartCode under Section 1.3. The SmartCode calls for commercial activities to be embedded downtown and within walking distance of most dwellings. The Stratosphere Lounge is located in close proximity to the university and provides amenities meeting the nature of those called for within the SmartCode.

The Stratosphere Lounge has met the conditions in their original CUP. According to the City's Clean Air Ordinance (Section 34.256 et seq.), tobacco specialty shops are not required to designate a non-smoking area, although they are encouraged to do so whenever possible. As part of its permit conditions, the Stratosphere Lounge maintains a clearly visible sign at the entrance stating "Smoking is permitted throughout the entire area." They only allow alcoholic beverage consumption during the hours of regular alcohol sales in San Marcos removing all beverages at 2:00 a.m. They have given the San Marcos Police and Code Enforcement full inspection authority, so the departments are able to make routine checks for minors in possession.

The Stratosphere Lounge has met the conditions of its original CUP and has submitted their second renewal for a SmartCode Warrant in a timely manner.

Staff provides this request to the Commission for your consideration and recommends approval of the SmartCode Warrant with the following conditions:

- 1. The Warrant shall be valid for five (5) years;**
- 2. Business owner grants full inspection authority to San Marcos Police and Code Enforcement Officers;**
- 3. Signage requirements of the Clean Air Ordinance are to be met with a clearly visible sign posted at the entrance stating that "Smoking is permitted throughout the entire area"; and**
- 4. Hours of alcohol consumption must coincide with regular alcohol sales hours in San Marcos.**

Planning Department Recommendation:	
	Approve as submitted
X	Approve with conditions or revisions as noted
	Alternative
	Denial

The Commission's Responsibility:

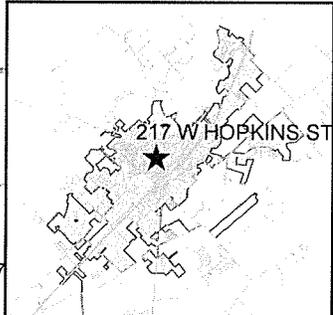
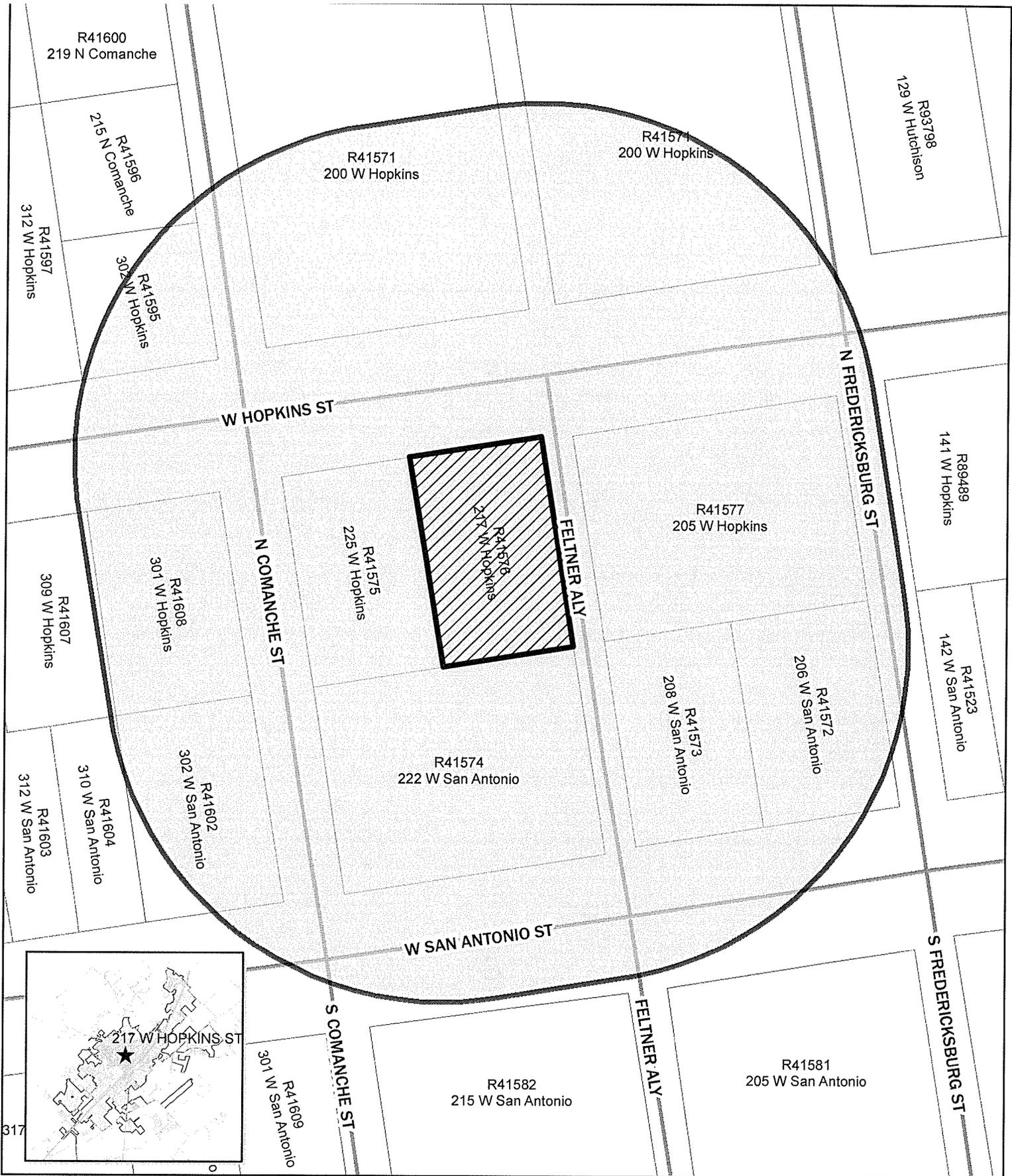
The Commission is required by law to hold a public hearing and receive public comment on this application. After considering the public input, the Commission is charged with making a decision to approve, approve with conditions, or deny the Conditional Use Permit. The applicant or any interested person may appeal the decision to City Council within 10 working days.

The Commission's decision is discretionary. In evaluating the impact of the proposed conditional use on surrounding properties, the Commission should consider the extent to which the use:

- is consistent with policies of the Master Plan and the general intent of the zoning district;
- is compatible with the character and integrity of adjacent developments and neighborhoods;
- includes improvements to mitigate development-related adverse impacts; and
- does not generate pedestrian or vehicular traffic which is hazardous or conflicts with existing traffic in the neighborhood.

Conditions may be attached to the CUP that the Commission deems necessary to mitigate adverse effects of the proposed use and to carry out the intent of the Code.

Emily Koller	Planning Technician	September 18, 2012
Name	Title	Date



CUP-12-35
Tantra Coffehouse
217 W. Hopkins St
Map Date: 09/07/12

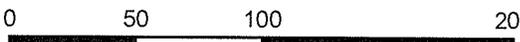
-  Notification Buffer (200 feet)
-  Site Location

This map was created by Development Services for reference purposes only. No warranty is made concerning the map's accuracy or completeness.

N



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Feet

**CUP-12-35
Conditional Use Permit
Tantra Coffeehouse
217 W. Hopkins**



Summary:

Applicant: Nathan W. Todd
903 Belvin St.
San Marcos TX 78666

Property Owner: L.O. Backus
901 Franklin St.
San Marcos, TX 78666

Applicant Request: Renewal of an existing Conditional Use Permit (CUP) to allow on-premise consumption of beer and wine at a coffeehouse/retail store.

Notification: Public hearing notification mailed on September 14, 2012.

Response: No response as of September 20, 2012.

Property Area/Profile:

Location: 217 W. Hopkins St.

Legal Description: Original Town of San Marcos Lot 6, Block 15.

Frontage On: Hopkins St.

Expiration Date: September 27, 2012

Neighborhood: Downtown

Existing Zoning: T5

Master Plan Land Use: Commercial

Sector: Sector 8

Existing Utilities: Adequate

Existing Use of Property: Coffeehouse/retail

Zoning and Land Use Pattern:

	Current Zoning	Existing Land Use
N of Property	Hopkins St./T5	ROW, HEB
S of Property	CS	Civic Space, Price Center
E of Property	T5	Commercial
W of Property	T5	Benchmark Insurance Company

Code Requirements:

A conditional use permit allows the establishment of uses which may be suitable only in certain locations or only when subject to standards and conditions that assure compatibility with adjoining uses. Conditional uses are generally compatible with permitted uses, but require individual review and imposition of conditions in order to ensure the appropriateness of the use at a particular location.

A business applying for on-premise consumption of alcohol must not be within 300 feet of a church, school, hospital, or a residence located in a low density residential zoning district. This location **does** meet the distance requirements.

Case Summary:

Tantra Coffeehouse is located at 217 W. Hopkins Street west of the Central Business Area. The location is surrounded by other businesses with T5 Smart Code zoning. Hours of operation are Sunday-Friday 7AM - 12AM and Saturday 7AM – 1AM. The business boasts a gross floor area of 1,840 square feet with an indoor fixed seating capacity of 30 seats; outdoor fixed seating varies.

Tantra Coffeehouse was originally granted a Conditional Use Permit for on-premise sales and consumption of beer and wine in 2006. It was renewed in 2007 for a period of three years. The applicant came before the Commission earlier this year, in March, to renew that CUP. The Commission approved a six-month renewal based on the volume of complaints received by the Police Department and the fact that the permit had been expired for more than a year. The current permit will expire on September 27, 2012. Live music is permitted at the establishment. The applicant has stated that they have scaled back on live music and only host live music on Wednesday nights.

Several conditions have applied to the previous CUPs including:

- All musicians must use the sound system provided by Nathan Todd (Business owner). The acceptable pre-set volume is in accordance with the Land Development Code and cannot be exceeded regardless of the type of music at any time.
- The sale and consumption of beer and wine will be allowed after 10 A.M. Monday-Saturday and 12 P.M. Sunday.
- A written statement from the business owner (Mr. Todd) shall be provided stating that he will require all employees to maintain a current TABC certification.
- Resolution of over-flow event parking, which may include an off-site parking agreement.

A verbal off-site parking agreement was established between Tantra and Benchmark Insurance Group. There are currently 9 off-site parking spaces provided in addition to the parking agreement with Benchmark. The parking agreement between Tantra and Benchmark Insurance is included in the packet and will be kept on file in the Development Services Department.

Comments from Other Departments:

Police, Health, Building, Engineering, and Code Enforcement have not reported major concerns regarding the subject property.

Planning Department Analysis

This is a request for the renewal of a Conditional Use Permit allowing on-premise consumption of beer and wine. As mentioned before, the high volume of noise complaints received by the Police Department led to a six month renewal period in order to monitor the progress of noise mitigation in a shorter timeframe. Staff believes that the applicant has successfully mitigated any previous noise issues as evidenced by the Police Department's review of this renewal request; no major concerns regarding the property were reported.

In order to monitor new and renewed permits for on-premise consumption of alcohol, the Planning Department's standard recommendation is that they be approved initially for a limited time period. Other conditional use permits have been approved as follows:

- Initial approval for 1 year;

- Renewal for 3 years;
- Final approval for the life of the State TABC license, provided standards are met.

Staff provides this request to the Commission for your consideration and recommends approval of the Conditional Use Permit with the following conditions:

- 1. The CUP be valid for three (3) years, provided standards are met, subject to the point system.**

Planning Department Recommendation:	
	Approve as submitted
X	Approve with conditions or revisions as noted
	Alternative
	Denial

The Commission's Responsibility:

The Commission is required to hold a public hearing and receive comments regarding the proposed Conditional Use Permit. After considering public input, the Commission is charged with making a decision on the Permit. Commission approval is discretionary. The applicant, or any other aggrieved person, may submit a written appeal of the decision to the Planning Department within 10 working days of notification of the Commission's action, and the appeal shall be heard by the City Council.

The Commission's decision is discretionary. In evaluating the impact of the proposed conditional use on surrounding properties, the Commission should consider the extent to which the use:

- is consistent with the policies of the Master Plan and the general intent of the zoning district;
- is compatible with the character and integrity of adjacent developments and neighborhoods;
- includes improvements to mitigate development-related adverse impacts; and
- does not generate pedestrian or vehicular traffic which is hazardous or conflicts with existing traffic in the neighborhood.

Conditions may be attached to the CUP that the Commission deems necessary to mitigate adverse effects of the proposed use and to carry out the intent of the Code.

Prepared by:

Alison Brake

Planner

September 17, 2012

Name

Title

Date

Parking Agreement

Between Tantra Coffeehouse and Benchmark Insurance Group

I, Scott Burton, owner of Benchmark Insurance Group, give Tantra Coffeehouse permission to use my parking lot at 225 W. Hopkins for overflow parking during the hours of 5pm-12am. This permission is granted on the basis that the Benchmark Insurance parking lot will be kept clean when used by Tantra Coffeehouse. Furthermore, Tantra Coffeehouse hereby accepts 100% of the liability associated with Tantra Coffehouses use of the parking lot. This agreement can be amended or voided at will by Benchmark Insurance Group.

Scott Burton

Benchmark Insurance Group



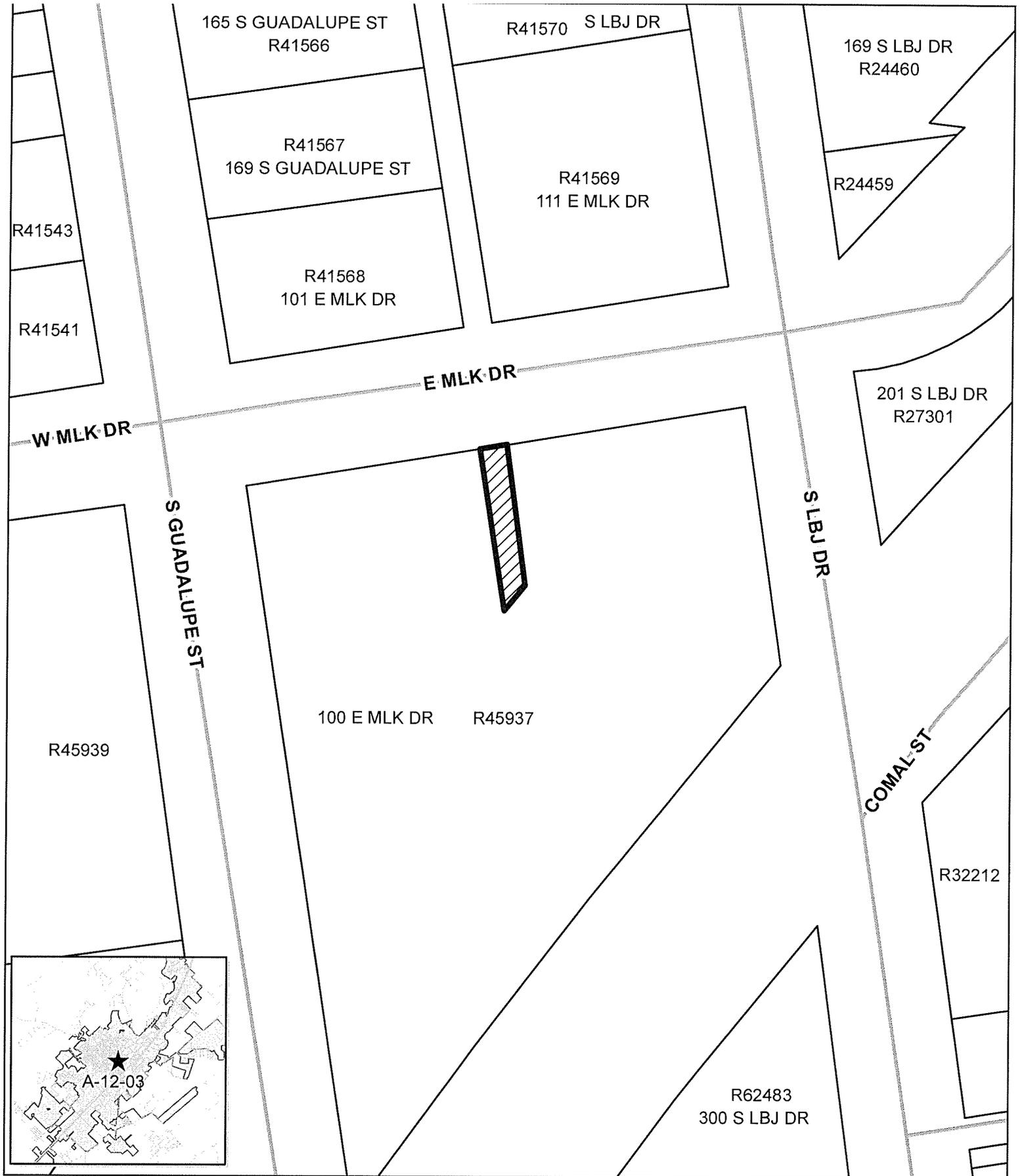
Date: 9/17/12

Nathan Todd

Tantra Coffeehouse



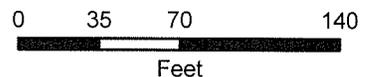
Date: 9/17/12



A-12-03
Alley Abandonment
100 E. MLK Drive
Map Date: 09/14/12

-  Notification Buffer (200 feet)
-  Site Location
-  Historic District

This map was created by Development Services for reference purposes only. No warranty is made concerning the map's accuracy or completeness.



A-12-03 Alley Abandonment 100 Block of E. MLK Dr.



Summary: Abandonment of an approximately 109x22 foot alley in the 100 block of E. MLK Drive.

Applicant: Hays County
111 E. San Antonio St.
San Marcos, TX 78666

Property Owners: Hays County
111 E. San Antonio St.
San Marcos, TX 78667

Notification: Personal notifications of the public hearing were mailed on Friday, September 14, 2012.

Response: None as of September 20, 2012.

Property/Area Profile:

Location: An undeveloped 109 foot alley within the 100 block of E. MLK Dr. between Guadalupe and S. LBJ Drive. The legal description of the property is JS Travis, Block 1, Lot Pt of 1-4.

Size: Approximately .05 acres

Existing Utilities: None

Existing Use of Property: Vacant

Comments from other Departments:

None.

Background Information:

Hays County is requesting an abandonment of the alley that lies within the 100 block of E. MLK Drive. The alley is a remnant from the original JS Travis Addition which ran from what was then Comal Street to the railroad right-of-way and measured in varas (wagon wheel turns). The property was sold in 1967 to HEB with the alleyway remaining in the deed and then again to Hays County in 1994. It has never been replatted.

This site is the former Hays County Justice Center. The Commission and City Council both recently approved a zoning change on the property from SmartCode CS – Civic Space to SmartCode T5 – Urban Center.

Planning Department Analysis

This abandonment request is a continued effort between the City of San Marcos and Hays County to obtain the highest and best use possible for a key redevelopment site in downtown. Recently rezoned from CS to T5, the property is approximately 2.3 acres and is identified in the Downtown Master Plan as an appropriate location for transit-oriented development in the future. The property is currently vacant and for sale.

The property has never been replatted from the original 1880 JS Travis Addition, but the alley has remained in the deeds during real estate transactions. It has been paved over and is unrecognizable on site. There is no physical need for the alley and by abandoning the segment of the land to the current owner, the property becomes more valuable and more appealing for potential sale and redevelopment.

The San Marcos City Code indicates four (4) standards that must be met when considering the abandonment of a street or alley. The request meets all criteria required by code. The following analysis addresses those specific standards.

Evaluation		Abandonment Standards (Section 74.087 of the San Marcos City Code)
Consistent	Inconsistent	
X		<p>Street and alleys will be abandoned only in whole segments, except that a portion of a dead-end street or alley may be abandoned if the abandonment does not cause a part of the street or alley to become landlocked.</p> <p>The alley is a whole segment.</p>
X		<p>A street or alley abandonment will not be approved if it causes substantial interference with access to any tract or parcel of property.</p> <p>No interference will be caused to the property.</p>
X		<p>A street or alley containing public utility facilities will be abandoned only if the facilities are relocated out of the street or alley or if a public utility easement is recorded covering the area occupied by the facilities. Unless otherwise agreed by the owners of the utilities, the cost of relocating the facilities or preparing survey descriptions for easements will be borne by the owners of the property abutting the segment to be abandoned.</p> <p>There are no existing utilities in this segment.</p>
X		<p>A street or alley abandonment will be approved only if the street or alley is not needed for future road or utility improvements.</p> <p>The alley is not needed for any future road or utility improvements.</p>

Staff provides this request to the Commission for your consideration and recommends approval as submitted.

Planning Department Recommendation:	
<input checked="" type="checkbox"/>	Approve as submitted
<input type="checkbox"/>	Approve with conditions or revisions as noted
<input type="checkbox"/>	Alternative
<input type="checkbox"/>	Denial

The Commission's Responsibility:

The Commission is required by law to hold a public hearing and receive public comment regarding the proposed street or alley abandonment. After considering the public input, the Commission is charged with making an advisory recommendation to the City Council regarding the abandonment requesting. The City Council will ultimately decide whether to approve or deny this request, and will do so as follows.

- City Council reviews the recommendation for the Planning and Zoning Commission and provides direction to staff on whether the abandonment is acceptable subject to the obtaining of an appraisal.
- An appraisal for the area to be abandoned will be obtained.
- City Council will hold a public hearing and vote on the adoption of an ordinance approving the abandonment and the conveyance of the street for the appraised value.
- The City Council will consider the ordinance a total of 3 times as required by the City Charter.

The Commission's advisory recommendation to the Council is a discretionary decision. Your recommendation should be based on the standards listed in Section 74.087 of the San Marcos City Code.

Prepared by:

Emily Koller

Planning Technician

September 19, 2012

Name

Title

Date

PDD-11-13(a) Blanco River Village PDD Amendment



Summary:

Applicant: Scott Bauer
P.O. Box 848
San Marcos, Texas 78666

Property Owner: Bigelow San Marcos Development,
L.L.C.
P.O. Box 848
San Marcos, TX 78666

Notification: Personal Notice sent on August 31, 2012

Response: Letter via email from Thom Prentice, Ph.D., received on September 17, 2012 (included in packet)

Subject Property:

Legal Description: Approximately 103.788 acres of land, located in the 1400 through 1900 blocks of State Highway 21

Neighborhood: Blanco River North

Existing Zoning: PDD

Sector: 6

Utilities: Sufficient

Existing Use of Property: Single Family residential neighborhood and parkland

Proposed Use of Property: Predominately a single family residential neighborhood with a Mixed Use and a Parkland Area

Proposed Zoning: Amend PDD overlay district

Project overview

Blanco River Village is currently within the City Limits of San Marcos and has an active PDD that was enacted September 20, 2004. A portion of this PDD was then amended in 2008 to include a provision for Medium Density Residential. This area has been developed and is referred to as the Living Court Units located along RushHaven and north of TrestleTree. The PDD was amended in late 2011 to clean up the designation on the City's Official Future Land Use Map in order to bring it in compliance with the existing and allowable density on-site per the PDD. In addition to the land use map amendment the PDD document also incorporated changes that clarified any inconsistencies between the original document in

2004 and the amended PDD in 2008. That particular text amendment brought standards included in the PDD up-to-date with current development standards; no additional units were added in that amendment.

The applicant is now seeking to amend "Section 2.3.10 Roadway Improvements" of the PDD overlay. The purpose of the request is to establish a smaller street section, a one-way street, which would be the primary access for a new housing type in the subdivision, courtyard homes.

Planning Department Analysis:

The purpose and intent of the Blanco River Village Subdivision is the "creation of a single contiguous project that is under unified control. The development will result in the creation of a mixed-use community that is compact and pedestrian scaled and is supportive of the older established neighborhoods in the City of San Marcos." The PDD supports a variety of uses with the predominant amount of area being reserved for low density residential development (66.3 acres). In addition the development supports some Medium Density Residential (10.3 acres), Mixed Use Development (14.1 acres) and Parkland (13.0 acres).

The applicant is proposing is a courtyard-style home in Blocks I and J, Section 1 of the subdivision. The homes will face each other with a linear park between them rather than facing a street. The base zoning, "SF-4.5", of these blocks will remain. The courtyard housing type is a single-family housing type. Examples of these types of homes have been included in the packet. Rush Haven is proposed to be abandoned by the applicant thus becoming the central green that these new homes would front. Primary access to these homes would be through a one way street with a 20-foot right-of-way (ROW).

Section 2.3.10(12) would be added to the PDD Development Standards to establish the One Way Street type as follows:

12. Street Type: ST 2-20: One Way Street – Description:
 - A. Dedicated Utility Easement (D.U.E.) width: 20'
 - B. Design Speed: 10 M.P.H.
 - C. Pavement Width: 12'
 - D. Travelway: One lane in one direction 12' in width
 - E. No minimum centerline radius for curves
 - F. Minimum tangent between reverse curves: 0'
 - G. Curb radii: 10'
 - H. Parking: No parking permitted in One Way Street
 - I. No Street Trees are required in One Way Street
 - J. Drainage: Stormwater drainage shall be conveyed in a center valley gutter
 - K. Maintenance: One Way Street ROW to be maintained by Homeowners' Association

The ROW is considerably smaller than what is required by the LDC; residential streets have a minimum of 52-foot ROW. However, this housing type is one that is not seen in San Marcos and does meet the intent of the original PDD while promoting more compact site development and encouraging a diversity of housing types.

A public hearing was held at the September 11, 2012 Planning and Zoning Commission meeting. Two residents of the subdivision spoke during the Citizens Comment Period and stated that they were in opposition of the amendment. Both residents stated that they did not want any more of a decrease to their property values with additional condominiums. Mr. Bigelow, the applicant, stated that the courtyard style home is not adding to the number of condominiums within the subdivision as they are single-family homes. Many of the Commissioners commented that they were excited about getting another option for single family homes in San Marcos. However, many stated that they would feel better if the neighborhood was confident in the housing type. The applicant stated that he would send a letter to the neighborhood to set up a meeting date.

The addition of the smaller one-way street allowing for a courtyard-style home does meet the intent of the PDD by creating a diversity of housing types while promoting pedestrian use. Staff is recommending approval of the change as submitted.

Planning Department Recommendation	
<input checked="" type="checkbox"/>	Approve as submitted
<input type="checkbox"/>	Approve with conditions or revisions as noted
<input type="checkbox"/>	Public Hearing only
<input type="checkbox"/>	Denial

The Commission's Responsibility:

The Commission is required by law to hold a public hearing and receive public comment regarding the proposed zoning. After considering the public input, the Commission is charged with making an advisory recommendation to the City Council regarding the request. The City Council will ultimately decide whether to approve or deny the zoning change request. The Commission's advisory recommendation to the Council is a discretionary decision. Section 1.5.3.5 of the Land Development Code establishes the following criteria for approval:

- (1) The extent to which the land covered by the proposed PD district fits one or more of the special circumstances in Section 4.2.6.1 warranting a PD district classification.
 - (2) The extent to which the proposed PD district furthers the policies of the Master Plan generally, and for the sector in which the proposed PD district is located.
 - (3) The extent to which the proposed PD district will result in a superior development than could be achieved through conventional zoning classifications.
 - (4) The extent to which the proposed PD district will resolve or mitigate any compatibility issues with surrounding development.
 - (5) The extent to which the PD district is generally consistent with the criteria for approval of a watershed plan for land within the district.
 - (6) The extent to which proposed uses and the configuration of uses depicted in the Concept Plan are compatible with existing and planned adjoining uses;
 - (7) The extent to which the proposed development is consistent with adopted master facilities plans, including without limitation the water facilities, master wastewater facilities, transportation, drainage and other master facilities plans; and
 - (8) The extent to which the proposed open space and recreational amenities within the development provide a superior living environment and enhanced recreational opportunities for residents of the district and for the public generally.
- (b) *Conditions.* The Planning and Zoning Commission may recommend and the Council may impose such conditions to the PD district regulations and Concept Plan as are necessary to assure that the purpose of the PD district is implemented

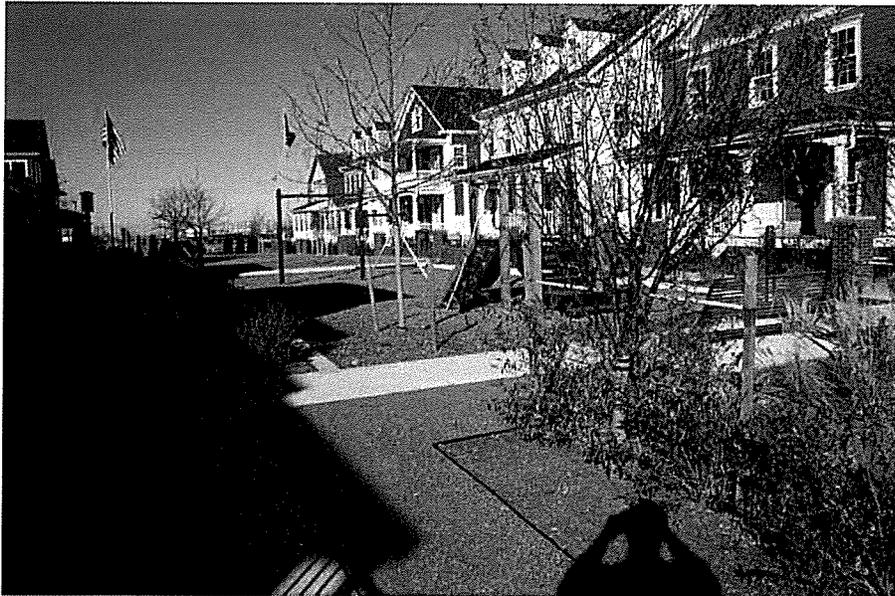
Prepared by:

Alison Brake	Planner	September 17, 2012
Name	Title	Date

Examples of Courtyard Homes



Baldwin Park, Orlando



Stapleton, Denver



Stapleton, Denver



Mueller, Austin

- D. Travelway: One lane 9' wide in each direction
 - E. Curb radii: 10'
 - F. Minimum centerline radius for curves: 60'
 - G. Minimum tangent between reverse curves: 50'
 - H. Minimum sidewalk width: 5'
 - I. Maximum Planting Strip width: 7'
 - J. Along Mixed Use Areas, designated parallel parking stalls may be provided, with bulb-out planting islands.
11. Street Type: RS-50: Residential Street with 50' R.O.W. – Description:
- A. Public Right of Way width: 50'
 - B. Design Speed: 20 M.P.H.
 - C. Pavement Width: 27' (includes two - 8' parking lanes, one on each side)
 - D. Travelway: One shared lane 11' in width for both directions
 - E. Curb radii: 10'
 - F. Minimum centerline radius for curves: 60'
 - G. Minimum tangent between reverse curves: 50'
 - H. Minimum sidewalk width: 4'
 - I. Maximum Planting Strip width: 7½'
12. Street Type: ST2-20: One-way street with 20' D.U.E. – Description:
- A. Dedicated Utility Easement (D.U.E.) width: 20'
 - B. Design Speed: 10 M.P.H.
 - C. Pavement Width: 12'
 - D. Travelway: One lane in one direction 12' in width
 - E. No minimum centerline radius for curves
 - F. Minimum tangent between reverse curves: 0'
 - G. Curb radii: 10'
 - H. Parking: No parking permitted in One way street
 - I. Street Trees: No Street Trees are required in One way street
 - J. Drainage: Storm water drainage shall be conveyed in a center Valley gutter
 - K. Maintenance: One way street R.O.W. to be maintained by Homeowners' Association
13. Street Type: ALI-20: One-way Alley with 20' D.U.E. – Description:
- A. Dedicated Utility Easement (D.U.E.) width: 20'
 - B. Design Speed: 10 M.P.H.
 - C. Pavement Width: 12'
 - D. Travelway: One lane in one direction 12' in width
 - E. No minimum centerline radius for curves
 - F. Minimum tangent between reverse curves: 0'
 - G. Curb radii: 10'
 - H. Parking: No parking permitted in Alleys
 - I. Street Trees: No Street Trees are required in Alleys
 - J. Drainage: Storm water drainage shall be conveyed in a center Valley gutter
 - L. Maintenance: Alley R.O.W. to be maintained by Homeowners' Association

EXHIBIT "C"

BLANCO RIVER VILLAGE

PLANNED DEVELOPMENT DISTRICT

**AMENDED AND RESTATED
DEVELOPMENT STANDARDS**

SAN MARCOS, HAYS COUNTY, TEXAS

_____, 2012

BLANCO RIVER VILLAGE

PLANNED DEVELOPMENT DISTRICT (PDD)

CONTACT INFORMATION

MASTER

DEVELOPER: Etheredge Development San Marcos, L.P.
c/o Terry Mitchell
P.O. Box 5654
Austin, Texas 78763
Phonc: 512-391-1789
Fax: 512-233-2331

BUILDER/DEVELOPER: Bigelow Homes
c/o Jamie Bigelow
421 Shadowpoint
San Marcos, Texas 78666
Phone: 512-392-6700
Fax: 512-392-6708

PROPERTY:

BEING 103.788 ACRES OF LAND, SURVEYED BY BASELINE LAND SURVEYORS, INC., OUT OF THE JUAN MARTIN DeVERAMENDI SURVEY NO. 2, ABSTRACT NO, 17 AND THE THOMAS G. McGEHEE SURVEY, ABSTRACT NO. 11, BOTH IN HAYS COUNTY, TEXAS, AND BEING COMPRISED OF THE FOLLOWING FIVE TRACTS: TRACT ONE BEING A 85.606 ACRE TRACT OF LAND CONVEYED AS 85.596 ACRES TO BAPTIST FOUNDATION OF TEXAS BY DEED OF RECORD IN VOLUME 1505, PAGE 38 OF THE OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS; TRACT TWO BEING A 7.030 ACRE TRACT OF LAND CONVEYED AS 7.020 ACRES TO BAPTIST FOUNDATION OF TEXAS BY INSTRUMENT OF RECORD IN DOCUMENT NO. 9904054 OF THE OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS; TRACT THREE BEING A 9.00 ACRE TRACT OF LAND CONVEYED AS 9.00 ACRES TO SAN MARCOS BAPTIST ACADEMY BY INSTRUMENT OF RECORD IN DOCUMENT NO. 9908628 OF THE OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS; TRACT FOUR BEING A 1.724 ACRE PORTION OF A REMAINDER OF A 128.67 ACRE TRACT OF LAND CONVEYED TO ERNEST E. CUMMINGS BY DEED OF RECORD IN VOLUME 228, PAGE 527 OF THE DEED RECORDS OF HAYS COUNTY, TEXAS; AND TRACT FIVE BEING A 0.428 ACRE TRACT OF LAND QUITCLAIMED AS 0.424 ACRES TO SAN MARCOS BAPTIST ACADEMY, BY THE STATE OF TEXAS, BY DEED OF RECORD IN VOLUME 2137, PAGE 202 OF THE OFFICIAL PUBLIC RECORDS OF HAYS COUNTY, TEXAS, AS DESCRIBED IN EXHIBIT "A".

<u>Exhibit "A-1"</u>	Park legal (P)	13.003 acres
<u>Exhibit "A-2"</u>	Mixed Use (MU)	14.103 acres
<u>Exhibit "A-3"</u>	Residential (SF4.5)	66.336 acres
<u>Exhibit "A-4"</u>	Living Court (MF12)	10.347 acres

1. PURPOSE AND INTENT

1.1. The Blanco River Village PDD (the “*Project*”) is planned as a single contiguous project that is under unified control. The development will result in the creation of a mixed-use community that is compact and pedestrian scaled and is supportive of the older, established neighborhoods in the City of San Marcos (the “*City*”). The City Council shall adopt these development standards (the “*Development Standards*”) by ordinance (as amended from time to time, the “*Ordinance*”). The Ordinance amends and restates (i) City Ordinance 2004-61 (the “*2004 Blanco River Village Ordinance*”) and (ii) City Ordinance 2008-49 (the “*2008 Blanco River Village Ordinance*”), and these development standards amend and restate the development standards adopted in connection with and pursuant to the 2004 Blanco River Village Ordinance and the 2008 Blanco River Village Ordinance.

1.2. The Project contains a variety of uses: Low Density SF4.5 Residential Area (approximately 66.336 acres) and MF-12 Multi-Family Residential (Living Court) Area (approximately 10.347 acres, and total residential of 76.683 acres), Mixed-Use Area (14.1 acres) and City Parkland (13.0 acres) that will contribute to a neighborhood with opportunities for live, shop and recreational spaces.

1.3. The Project utilizes standards from other implemented traditional neighborhood developments (TND’s) including Plum Creek (Kyle), Cedar Park Town Center (Cedar Park), Highland Park (Pflugerville) and Turtle Creek Village (Round Rock). The Project provides for a compact residential area, which permits for an innovative small lot design and alley service to garages using several different sized residential lots. This new residential design is combined with multi-family uses within the Mixed-Use Area to provide a variety of housing opportunities within the Project.

1.4. The Project also creates specialized street standards that have been designed to maintain efficient traffic circulation while promoting pedestrian use.

1.5. The Project’s land use plan (attached as Exhibit “B” to the Ordinance and these Development Standards) provides for a network of open spaces that will include pocket parks and parkland with frontage to the Blanco River that will be an amenity to the neighborhood and city.

1.6. The Project will encourage high quality development and innovative design through the adaptive reuse of the detention pond serving the residential area as a HOA-owned and maintained recreational amenity for the neighborhood. A second detention pond serving the Mixed-Use Area shall be constructed and maintained as a recreational amenity.

1.7. The owner and any agent of the owner shall be legally responsible for directly or indirectly allowing, permitting, causing or failing to prohibit residential use of a single family residential dwelling in this area by more than two unrelated individuals in accordance with the City of San Marcos Land Development Code Section 4.3.4.5 Occupancy Restrictions.

1.8. The Project designates specific site development standards for the Property that address lot size and width, setbacks and building coverage limits that are in accordance with the intent of TND’s and mixed-use infill development. The Developer seeks to create a mixed-use, pedestrian scaled environment that will promote compact development with an emphasis on reduction of automotive dependency and open space preservation. The Project’s land use plan establishes unique development standards, thereby promoting more compact site development that will promote a diversity of housing types and encourage economic development of the community.

1.9. Words and terms used herein, not specifically defined in this section, shall have their usual force and meaning, or as defined in the San Marcos City Code, hereinafter referred to as the “*City Code*”. For the purposes of these Development Standards and the Ordinance, the following terms, phrases, words and their derivations shall have the meaning ascribed to them in this section:

1.9.1. “*CCRs*” means a declaration of covenants, conditions, and restrictions or similar legal document imposed upon the Project or portions of the Project, which, subject to these development standards, shall govern the development and use of the Project.

1.9.2. “*Environmental Graphics*” means signage and graphics used in an exterior setting for identifying uses, providing directions and information and for decorative purposes, including banners and flags, and whether for temporary or permanent display.

1.9.3. “*Front Façade*” means the Front Façade of any building shall be considered to be the side of the building that provides the primary entrance into the building.

1.9.4. “*Front Porch*” means an un-airconditioned roofed structure attached to the front of a house.

1.9.5. “*Living Court Lots*” means all lots in Amending Plat of Blocks E, F, H, and I, Blanco River Village, Section One, according to the map or plat thereof recorded under Document No. 2009-90002025, in Volume 3578, Page 484, of the Official Public Records of Hays County, Texas..

1.9.6. “*Masonry*” means, for the purposes of this Project, brick, stone, faux stone, cast stone, stucco, or cementitious plank products, such as Hardiboard or Hardiplank, or exterior insulation finishing system (E.I.F.S.).

1.9.7. “*Mixed Use Area*” means, for purposes of this Project, the area within this Project that may contain multi-family, office, retail or other permitted use (outlined herein) and does not refer to a Mixed Use District or other zoning category not otherwise specifically referenced herein.

1.9.8. “*Open Style Fence*” means a fence designed to enclose a private yard, which abuts a park, green strip, or alley. The required features of this fence include the ability to see through the fence (a minimum of 40% of the fence surface area shall be open), construction of low maintenance materials. The maximum height of an open style fence shall be 42 inches in a street yard (street yards do not include alleys) and five (5) feet for fences other than wrought iron or equivalent fences in other yards. Wrought iron (or similar) or equivalent fences shall not exceed six feet in height. Masonry columns are permitted as part of all Open Style Fences. Low maintenance materials include fence vinyl, painted wood or wrought iron. In the case of the Mixed Use Area, where property borders Highway 21 and/or Highway 80, a wrought iron or equivalent fence is allowed and shall not exceed 6’ in height.

1.9.9. “*Planting Strip*” means a portion of land of public street right-of-way or a portion of land abutting private property, which is reserved for the purpose of landscaping and installation of street trees. Cross sections of various street rights-of-way and abutting private property reflecting these planting strips are indicated on the street sections in Exhibit “1”.

1.9.10. “*Private Interior Drive*” means a minor private access way either two-way or one-way, located within Residential Condominium development areas and providing vehicular and other access to public streets. All private interior drives will be maintained by the Property Owners Association for the area

1.9.11. “*Private Open Space*” means open space that is owned and maintained by a Property Owners Association or by an individual property owner.

1.9.12. “*Property*” means the 103.788 acres of land, more or less, out of the Juan Martin DeVeramendi Survey No. 2, Abstract No, 17 and the Thomas G. McGehee Survey, Abstract No. 11, both in Hays County, Texas, and being more particularly described in Exhibit “A” attached to and incorporated herein (and being the same property described in Exhibit “A” to the Ordinance).

1.9.13. “*Property Owners Association*” or “*POA*” means an organization made up of the property owners in the area, which is responsible for maintenance of private streets, alleys, and the open spaces not

conveyed to the City, and which shall have the authority to make and collect assessments sufficient to operate and maintain private streets, alleys and open spaces. There may be more than one POA.

2. **DEVELOPMENT STANDARDS**

2.1. **General Project Description.**

The Project will be developed for use as Low Density Residential (base zoning SF4.5, Medium Density Residential (base zoning MF-12), Mixed-Use (base zoning MU Mixed Use) and parkland (base zoning P Public District). The Property has been annexed. A portion of the Property currently lies within the FEMA 100-year flood plain. A flood plain modification will be necessary (a CLOMR has been already been approved by FEMA). A PDD will result in a superior development compared with a conventional subdivision due to the proximity of the Property to the city center and its location in relation to the Blanco River. The mixed-use concept of the Project allows the flexibility to make this development feasible while providing parkland to the city adjacent to the river that will provide an excellent buffer.

2.2. **Detailed Description of Land Uses.**

The Land Use Plan for the Project is attached as Exhibit "B" and incorporated herein by reference.

The land use areas within the Project are included in the following table:

	Primary Land Use	Street ROW	Private Open Space	Gross Acreage	Maximum Units Allowed	Average People per unit	Anticipated Maximum Density	Maximum F.A.R. Ratio
Low Density Residential Area [base zoning: SF4.5 single-family dwellings]	44.9 Acres	16.1 Acres	5.4 Acres	66.4 Acres	388	2.8	1,115	N/A
Living Courts Residential area [base zoning MF-12 multifamily]	8.3	2.0	0.0	10.3		2.0		N/A
Mixed-Use Area [base zoning: MU Mixed Use]	14.1 Acres	N/A	N/A	14.1 Acres	254	2.5	635	.500
Parkland [base zoning: P Public and Institutional District]	13.0 Acres	N/A	N/A	13.0 Acres	N/A	N/A	N/A	N/A
Totals	80.3 Acres	18.1 Acres	5.4 Acres	103.8 Acres	714		1,923*	

2.3. Additions and Exceptions to the San Marcos City Code.

2.3.1. **Building Limitations and Requirements - General**

1. Parking facilities will conform to City Standards, and as modified by this PDD ordinance.
2. All new utilities internal to the Project shall be placed underground.
3. Metal-sided buildings will be allowed only as temporary structures during project construction.
4. Sidewalks shall be of a width and location as set forth herein (varying widths of four feet (4') to six feet (6')).
5. Block lengths in the Project shall not exceed 1,200 feet except along major thoroughfares, railroads or along open space that is parallel and adjacent to the right-of-way internal to the site.
6. For condominium lots that have rear entry garages, each condominium building will be provided with a service drive, private alley or public alley within the lot or abutting the rear lot line.

2.3.2. **Restrictive Covenants.** The Developer shall prepare, submit for review by the City Legal Department, execute and record in the official public records of Hays County, Texas CCRs for the Mixed Use Area and CCRs for the Low Density Residential and High Density Residential Areas before a building permit may be issued by the City in each Area of the District. The CCRs shall:

1. Create one or more Property Owners' Associations with mandatory membership for each property owner. If the Mixed-Use Area is used for a use other than single family use has two or more owners, a separate Property Owners' Association must be created. If the Mixed-Use Area has a single owner, such association is not required; provided, however, that such mixed use owner shall enter into a landscape maintenance agreement providing (i) for the sharing of perimeter landscaping (along boundary streets), and (ii) that the Residential Area and the Mixed Use Area shall each maintain their respective pond areas.. Any land within the Mixed Use Area used for single family purposes shall be subject to the CCRs for the Residential Area. There shall be one Property Owners' Association for the Residential Areas of this Project, provided, however, that, as to any annexations of new lots within the Property, the property owner may reserve architectural control committee approval rights (subject to this PDD);
2. Provide for the ownership, development, management and maintenance of alleys and open space (except private open space owned by individual residential property Owners);
3. Be effective for a term of not less than fifty (50) years and be automatically renewable; and
4. Require that the Property Owners' Association(s) obtain the written approval of the City Director of Planning or successor official (the "*Director*") for amendments to the CCRs that relate to provisions required herein.

2.3.3. **Property Owners Association**

1. The Developer shall establish one or more Property Owners Association(s) (if required) as part of the CCRs for the Property prior to the first building permit being issued by the City. Additional Property Owners' Associations may be created from time to time hereafter as described in this PDD.

2. At the Developer's option, separate sub-associations may be created in different areas of the Project.
3. Except as otherwise permitted in this PDD, each property owner in the Project shall be a member of one of the Property Owners' Associations which shall collect fees from each property owner for payment for the following common services: landscaping, promotions and events, cleaning, security, marketing, architectural control and project administration.
4. If a property owner fails to timely pay its association fees, the Property Owners Association's declaration of covenants shall enable it to file a lien against that owner's property.

2.3.4. Architectural Control Committee

1. The Developer must create one or more Architectural Control Committees as part of the CCRs for the Property, which shall be funded by the Property Owners Associations (as applicable).
2. The Developer or other person proposing the construction of a building must submit architectural drawings including proposed size, elevations, percentage of masonry, and overall home design for approval from the Architectural Control Committee charged with reviewing such plans.
3. All building exteriors, site plans and signage and environmental graphic designs must be approved by the Architectural Control Committee prior to approval of a building permit by the City. The Developer or other person proposing the construction of a building shall present a copy of the written approval of the Committee at the time of submission of a building permit application to the City.

2.3.5. Street Lights in Public ROW. The Developer may, with the written approval of the Director, incorporate alternative lighting standards in the public rights-of-way designed to aesthetically enhance the Property.

2.3.6. Fences and Gates

1. The maximum height of an Open Style Fence in a street yard shall be forty-two (42) inches. Masonry columns are permitted as part of all Open Style Fences.
2. Privacy or security fences up to six foot (6') in height are permitted along the side yards. Six foot (6') privacy fences are not permitted to extend into a front yard setback or corner side setback. Open picket fences are also permitted alongside yards or between buildings or along the outer perimeter of the Mixed Use Area.
3. Fences that abut Parks and Alleys shall be Open Style Fences and/or privacy fences up to four feet (4') in height.
4. Where an alley is provided adjacent to lots in the Low Density Residential Area and such lots have fences adjacent to the alley, a pedestrian passageway, or gate, shall be provided from the rear or side yard to the alley of such lots.

2.3.7. Building Limitation and Requirements to the Low Density Residential Area (base zoning: SF4.5 single family).

1. Minimum lot area:
 - A. Internal: 4,000 square feet
 - B. Corner: 5,000 square feet
2. Minimum lot width:
 - A. Internal: forty feet (40')

- B. Corner. Fifty feet (50')
- 3. No SF4.5 development shall exceed a density of more than 6 dwelling units per gross acre.
- 4. Minimum Lot depth: 100 feet.
- 5. Minimum depth of front setback: ten feet (10').
- 6. Minimum depth of rear setback (principal building): fifteen feet (15').
- 7. Minimum depth of rear setback (garage): five feet (5').
- 8. A detached garage (with or without an Accessory Dwelling Unit above) may be located two feet (2') from an interior side lot line.
- 9. Maximum building coverage as a percentage of lot area: 60%
- 10. Maximum height of structures: thirty-five feet (35') or 2½ stores, whichever is less.
- 11. Open terraces, decks and porches not over 30 inches above the average level of the adjoining ground may project a distance not exceeding five feet (5') into required yards; provided, however, that no at-grade projection shall extend closer than five feet (5') to any interior side or rear property line, or closer than seven feet (7') to a front property line or 15 feet to an exterior side property line. Subject to applicable fire codes, a room or fireplace may project two feet into the minimum side yard. The minimum side yard setback shall be 4'-6" measured from the lot line to the face of foundation. If roof gutters are installed, AC condensers may be located within the minimum side yard; however, no two AC condensers on adjacent lots may be within 3'-6" of each other. At grade projections or porch may extend no closer than six feet to an exterior side property line. For purpose of determining maximum projections to lot lines at corners, the lot lines shall be deemed to terminate with straight lines not arcs.
- 12. The two required parking spaces for each lot may be parallel to the alley ROW and they may encroach three feet (3') on the alley ROW; provided, however, that such parking spaces may not encroach on the alley paving.
- 13. No portion of a structure may encroach on a PUE, public sidewalk, public street ROW or alley ROW.

2.3.8. Additional requirements to the Low Density Residential Area

- 1. Front Porch Regulations
 - A. Single family detached residential units shall comply with the following:
 - (1) Eighty percent (80%) of the principal dwelling structures shall be required to include a front porch with a minimum of forty (40) square feet of total front porch area.
 - (2) Twenty percent (20%) of the principal dwelling structures shall not be required to comply with any minimum front porch regulations set forth herein.
 - (3) The foregoing notwithstanding, if seventy percent (70%) of the principal dwelling structures in the Low Density Residential Area have covered front porches that have at least seventy (70) square feet of area, the remainder of the principal dwelling structures may have uncovered front porches/garden patios that have at least sixty (60) square feet of area.
- 2. There are no front porch requirements for single family attached residential.
- 3. Front porch measurements:
 - A. Dimensions of front porches shall be based on the extent of exposed slab.
 - B. Percentage of compliance as set forth above shall be measured on a plat-by-plat basis.

4. Roof Regulations:
 - A. Pitched roofs may be clad in painted or galvanized metal, clay or concrete tile, or twenty-five (25) year minimum composition shingles.
 - B. Flat roofs are permitted only if habitable as a roof terrace.
 - C. Principal pitched roofs shall have a pitch no less than 5:12. Porch and stoop roofs may be 2:12 minimum pitch. Provided, however, with respect to Prairie or Craftsman style homes as described in A Field Guide to American Houses by McAlester, pitched roofs on a principal dwelling structure may be 3:12 minimum pitch.
5. Residential Façades: Residential building exteriors may be finished in painted cementitious siding, LP siding, wood siding, brick, stone, cast stone, stucco, or exterior insulation finishing system (E.I.F.S.). Vinyl siding and metal siding is prohibited.
6. Garage/Carport Regulations: Garages or carports shall be accessed from the rear of the lot, unless otherwise approved by the Director. Garages or carports shall be either attached or detached and accessible from an alley or private interior drive. Two-car garages shall be required for all single family detached residential units. The Director may approve a garage entry facing the street provided that the garage is at least twenty (20) feet behind the front property line and at least ten feet (10') behind the front wall of the principal structure. Carports may otherwise be used provided that they are accessed from alleys and are screened from view of streets.
7. Tandem Parking: Tandem parking shall be permitted and shall count toward the required parking spaces.
8. Rear Yard Parking: Adequate space shall be provided to allow for four (4) on-site parking spaces for single family detached residential units, including the parking within the alley R.O.W. permitted pursuant to Section 2.3.7.12 above. Such parking may encroach into the alley R.O.W., but only to the extent permitted pursuant to Section 2.3.7.12 above. The on-site parking space depth is eighteen feet (18').
9. Additional Requirements:
 - A. Two shade trees are required per lot, one of which shall be a street tree, located in the planter strip. Required trees must be maintained and watered by the home owner.
 - B. Residential buildings shall be a minimum of 75% masonry, understanding that Hardiplank or other cementitious sidings are considered masonry..
 - C. Front yard lawn areas shall be sodded.

2.3.9. Building Limitation and Requirements to the Mixed-Use Area (base zoning: MU Mixed Use)

1. All uses permitted in the MF-12 district, including specific uses, as regulated in the City Code, as it may be amended from time to time by the City.
2. Minimum depth of front setback (internal streets only): fifteen feet (15'). Front porches facing a public street may encroach five feet (5') into required front setback.
3. Maximum building coverage as a percentage of lot area: 60%; maximum impervious cover: 80%.
4. Façade treatment design for buildings in the Mixed-Use Area shall conform with the Visual Guidelines as set forth in Exhibit "2".
5. Additional requirements for the Mixed-Use Area
 - A. Purpose: The Mixed-Use Area may (but is not required to) contain retail, commercial, civic and residential uses to meet the needs of community residents. The Area may include commercial services, including shops, restaurants and neighborhood services. The Area will also have a high potential for office and

Multifamily residential development, all oriented to the public framework of streets and open spaces. The Mixed-Use Area should be designed to encourage pedestrian movement between Mixed-Use Area and the Low Density Residential Area.

B. Prohibited Uses: The following uses shall be prohibited within the Mixed-Use Area of the Property:

- (1) Drive-through restaurant commercial uses where patrons remain in automobiles.
- (2) Retail uses containing more than 30,000 square feet of floor area per certificate of occupancy.

C. Commercial Building Requirements: All commercial buildings, that may include optional residential uses, must comply with the following requirements.

- (1) Façades and Exterior Walls:
 - (a) No uninterrupted length of any façade shall exceed fifty (50) horizontal feet.
 - (b) Ground floor façades that face public streets shall have arcades, display windows, entry areas, awnings, or other such features along no less than 40% of their horizontal length.
- (2) Materials and Colors: Façades and roofs shall be of low reflectance, subtle, neutral or earth tone or other colors approved by the Architectural control committee. The use of high intensity colors, metallic colors or fluorescent colors is prohibited.
- (3) Roofs: Roofs shall have at least one of the following features:
 - (a) If a flat roof is constructed, all sides of the building shall have a mansard or built-up parapet wall roof at least four feet (4') in height.
 - (b) Subject to applicable fire codes, overhanging eaves, extending no less than three feet (3') past the supporting walls.
 - (c) Three or more roof slope planes, if a sloped roof is utilized. This requirement does not apply to flat roofs with parapets.

D. Additional Requirements

- (1) Building Exteriors: The exposed exterior walls of each building must contain 80% masonry, with Hardiplank or other cementitious siding product considered masonry.
- (2) Exterior Building Lights: Lights shall be placed on buildings in a manner so as not to be a nuisance.
- (3) HVAC Systems: All ground level air conditioner condenser units must be screened from street view or placed on the roof.
- (4) Backyard Walls: These shall be constructed 100% masonry materials or wrought-iron or similar fencing. Any gates must be constructed of wrought iron or similar materials.
- (5) Height: The height of Mixed-Use Area buildings shall provide a harmonious scale transition to the Low Density Residential Area and shall be treated in such a way that will promote architectural identity that is in scale with the community (*e.g.*, articulation of building base and middle with distinctive roof silhouette). An example would be buildings showing a variety of two and three story elevations.
- (6) Surface Parking Lots: Parking for the Mixed Use Area shall meet the Code requirements applicable to such use. Surface parking lots are

permitted within the Mixed-Use Area, provided that they are not located adjacent to boundary streets next to the Low Density Residential Area. All surface lots shall be well landscaped; hedges and other types of low planting and screening shall be provided along all street frontages and other public places. The Mixed Use Area may provide the standard depth parking space, as well as compact spaces, all of which shall meet current code standards. In the Mixed Use Area where parking stalls have been constructed within the right-of-way adjacent to the Mixed Use Area, such parking shall count towards parking requirements in both the Mixed Use Area and the Single Family Residential Area.

(7) Location of Unsightly Equipment: Dumpsters, mechanical equipment, storage areas and areas used for refuse collection shall be located or screened so as to not detract from public use areas, as determined by the Director.

(8) Designated loading and service areas shall not be permitted along boundary streets to the Mixed Residential Area, except for designated bus stops.

(9) Additional Parking Regulations: The required parking for a use may be located anywhere in the Mixed-Use Area and in parking stalls constructed in adjacent rights-of-way. Community parking facilities are encouraged.

2.3.10. Roadway improvements

1. All roadway improvements shall be built to City specifications and dedicated as public roads. Right-of-Way and Pavement Sections will be in accordance with Exhibit "1" and as described below, and as shown on the Land Use Plan, Exhibit "B".

2. Streets classified as BVD-74, and RS-58 may be referred to collectively as "Major Streets"; streets classified as RS-50, may be referred to collectively as "Residential Streets"; and alleys classified as AL1-20 may be referred to collectively as "Alleys".

3. The following general provisions apply to all streets in the Project:

A. Generally Applicable Standards:

(1) The minimum centerline radius for horizontal curves: sixty feet (60')

(2) The minimum radii of right-of-way arcs at corners are:

(a) At the intersection of a Major Street with another Major Street or a Residential Street: fifteen feet (15').

(b) At the intersection of a Residential Street with another Residential Street or an Alley: ten feet (10').

(c) At the intersection of an Alley with a Major Street, a Residential Street, or another Alley: ten feet (10').

(d) For the purpose of determining a Corner Lot, a Lot abutting an alley and a street is not considered a Corner lot.

B. Intersection Turning Radius. The foregoing notwithstanding, streets and intersections (excluding alleys) will be designed and constructed in such a manner so as to create an effective minimum twenty-five foot (25') inside radius and fifty foot (50') outside radius travelway turning path, without conflict with on-street parking, medians or other fixed obstacles on the intersecting streets. This shall create a twenty-five (25') radii for the front wheel path (inside radius) and 50' radius for the rear wheel path (outside radius) from travel lane to travel lane at all intersections (excluding intersections with alleys), regardless of the locations of curbs or parking spaces.

4. Generally Applicable Parking Standards:

A. All turning radius designs on streets and alleys must be approved by the Director of Engineering and Public Works to allow for garbage, utility and emergency vehicle access and circulation.

B. Parallel parking is permitted on all street types except AL1-20. Designated parallel parking shall have a stall length of twenty-two feet (22') and a stall width of eight feet (8').

C. Angled parking, if any, shall (a) be 45 to 60 degrees angled parking; (b) have a depth of 18', measured perpendicular from the curb; and (c) have a parking stall width of nine feet (9').

5. Alley Regulations:

A. Alleys may be designed with an inverted crown.

B. Intersecting Alleys or Utility Easements - Where two alleys intersect or turn at a right angle, a sight triangle of not less than ten feet (10') measured from the point of intersection of the property or easement line, shall be provided along each property or easement line where practical. Minimum inside turning radius (alley pavement) of thirty-five feet (35'), with a minimum inside turning radius (alley pavement) of fifteen feet (15') at street intersections.

C. The rear yard fencing and alley design shall accommodate one-sided, side loaded garbage vehicle pick up on one side of the alleys only.

6. Roundabouts. "Roundabouts" are circular intersections that can be an effective intersection type with lower speeds than conventional intersections, requiring less maintenance. For a Roundabout to work properly it shall be designed for restricted speeds. The most significant feature that will restrict the speed is adequate deflection. Entry and exit radii and the size of the central island control vehicle deflection, Minimum standards shall be those of an urban single-lane Roundabout. Particular note should be taken that the Roundabout:

A. For Local Street/Collector Street intersections, Roundabouts shall be designed for bus movement.

B. Roundabouts shall have a mountable curb on the inside radius;

C. Roundabout signage shall be provided.

D. Raised splitter islands shall be used to preclude left turn movements prior to the Roundabout unless otherwise approved by the Director.

E. Any vegetation in the island shall be designed in compliance with the City of Austin Transportation Criteria Manual.

F. No parking shall be allowed within Roundabouts and within twenty feet (20') on all approach roadways; parking shall be restricted to twenty feet (20') past the end of the splitter island.

7. Generally Applicable Street Tree Standards.

A. All required street trees must be 45 gallon container-grown Type 1 shade trees, unless a street tree species is unavailable as container-grown at the time of installation. In this case, boxed material or balled and burlapped material of equivalent size may be substituted.

B. All street types except AL1-20 require that the street trees be planted on average every 45' on center within the Planting Strip, with 7½ feet horizontal clearance from each side of property corners adjacent at Dry Utilities services. Every 45' on center is a standard, but flexible. In cases where designated off-street parking is being provided within the right-of-way, street trees may be located in "bulb-outs" or along the sidewalks on private property, as designated by the Director of Planning.

C. There shall be a five foot (5') horizontal clearance between a street tree along both sides of a sideyard lot line.

D. Where practical, street trees should be planted in the center of the Planting Strip, between the sidewalk and the street. The Developer may make allowances for utilities, light poles, fire hydrants, traffic signs, other required street signage, traffic light and signal poles, and similar infrastructure, as well as sight and visibility triangles, street breaks, and crosswalks.

8. Street Trees.

A. Street Trees shall be located along all streets, except AL1-20 (except where existing trees remain in the right-of-way).

B. Street trees include suitable shade tree varieties. The following tree species are permitted:

- Bur Oak
- Cedar Elm
- Chinese (Lacebark) Elm
- Chinquapin Oak
- Live Oak
- Monterey Oak
- Shumard Oak
- Texas Red Oak

C. The planting criteria for street trees are:

(1) Street trees should be kept out of (i) intersection triangles at a minimum of 25' by 25' and (ii) alley/street intersection triangles at a minimum of 15' by 15', as measured from the center of the intersection.

(2) Street trees shall be planted to avoid interference with street lights, signage and other fixtures.

(3) Planting shall remain at least five feet (5') from edge of driveways.

(4) Planting should be at least five feet (5') from fire hydrants.

(5) Street trees and median trees shall be planted a minimum of 4' from the back of the curb, or as otherwise designated by the Director of Planning.

9. Street Type: BVD-74: Boulevard with 74' R.O.W. - Description:

- A. Public Right of Way width: 74'
- B. Design Speed: 25 M.P.H.
- C. Pavement Width: Two - 20' lanes
- D. Travelway: One lane in one direction 12' in width
- E. Curb radii: 15'
- F. Minimum centerline radius for curves: 300'
- G. Minimum tangent between reverse curves: 100'
- H. Minimum sidewalk width: 5'
- I. Planting Strip width: 7'
- J. Landscape Median: 10'

10. Street Type: RS-58: Residential Collection Street with 58' R.O.W. - Description:

- A. Public Right of Way width: 58'
- B. Design Speed: 20 M.P.H.
- C. Pavement Width: 34' (includes two - 8' parking lanes, one on each side)

- D. Travelway: One lane 9' wide in each direction
 - E. Curb radii: 10'
 - F. Minimum centerline radius for curves: 60'
 - G. Minimum tangent between reverse curves: 50'
 - H. Minimum sidewalk width: 5'
 - I. Maximum Planting Strip width: 7'
 - J. Along Mixed Use Areas, designated parallel parking stalls may be provided, with bulb-out planting islands.
11. Street Type: RS-50: Residential Street with 50' R.O.W. – Description:
- A. Public Right of Way width: 50'
 - B. Design Speed: 20 M.P.H.
 - C. Pavement Width: 27' (includes two - 8' parking lanes, one on each side)
 - D. Travelway: One shared lane 11' in width for both directions
 - E. Curb radii: 10'
 - F. Minimum centerline radius for curves: 60'
 - G. Minimum tangent between reverse curves: 50'
 - H. Minimum sidewalk width: 4'
 - I. Maximum Planting Strip width: 7½'
12. Street Type: ST2-20: One-way street with 20' D.U.E. – Description:
- A. Dedicated Utility Easement (D.U.E.) width: 20'
 - B. Design Speed: 10 M.P.H.
 - C. Pavement Width: 12'
 - D. Travelway: One lane in one direction 12' in width
 - E. No minimum centerline radius for curves
 - F. Minimum tangent between reverse curves: 0'
 - G. Curb radii: 10'
 - H. Parking: No parking permitted in One way street
 - I. Street Trees: No Street Trees are required in One way street
 - J. Drainage: Storm water drainage shall be conveyed in a center Valley gutter
 - K. Maintenance: One way street R.O.W. to be maintained by Homeowners' Association
13. Street Type: AL1-20: One-way Alley with 20' D.U.E. – Description:
- A. Dedicated Utility Easement (D.U.E.) width: 20'
 - B. Design Speed: 10 M.P.H.
 - C. Pavement Width: 12'
 - D. Travelway: One lane in one direction 12' in width
 - E. No minimum centerline radius for curves
 - F. Minimum tangent between reverse curves: 0'
 - G. Curb radii: 10'
 - H. Parking: No parking permitted in Alleys
 - I. Street Trees: No Street Trees are required in Alleys
 - J. Drainage: Storm water drainage shall be conveyed in a center Valley gutter
 - L. Maintenance: Alley R.O.W. to be maintained by Homeowners' Association

2.3.11. Private Open Space

1. Private Open Space Regulations: Owner will designate approximately 5.4 acres as shown on the Land Use Plan (Exhibit "B") as private open space to be maintained by the Property Owners Association, as applicable. The private open space may contain open space improvements such as a swimming pool, amenity center and other related uses as well as seating, landscaping and irrigation.
2. Site Development Regulations: The following site development regulations shall apply to Open Space uses within the Open Space area:
 - A. Minimum Lot size. The minimum Lot size within a Private Open Space area shall be 3,500 square feet, except for landscaped Lots in the right-of-way, which may be smaller.
 - B. Maximum Height. No buildings within an Open Space shall exceed 35 feet in height.
 - C. Minimum Lot Width. There is no minimum Lot Width within a Private Open Space area.
 - D. Minimum Setbacks.
 - (1) Front Yard. The minimum front yard Setback within an Open Space area shall be fifteen feet (15').
 - (2) Side Yard. The minimum Side Yard Setback within an Open Space area shall be ten feet (10').
 - (3) Rear Yard. The minimum rear yard Setback within an Open Space area shall be ten feet (10').
3. Residential Private Open Space Conveyance: Private Open Space structures thereon (if constructed) shall be conveyed to the Property Owners Association or some other party responsible at time of final plat for maintaining common buildings, areas and land within the community. Private Open Space shall be restricted to the uses specified on the final plat and which provide for the maintenance of Private Open Space in a manner which assures its long term maintenance and for its intended purpose.
4. Private Open Space Parking Regulations: Parking for Private Open Space uses within the District is provided from adjacent On-Street Parking unless, at the Developer's option, Off Street parking is provided within an Open Space lot. On-Street Parking may be credited toward the required parking spaces of the intended use.

2.3.12. **Landscaping.** Landscaping with native, locally adapted, and naturalized Central Texas plants are encouraged to reduce the water, fertilizer, and pesticide needs of the Project. A plant list is contained within Exhibit "3".

2.3.13. Environmental.

1. Water Quality will conform to the City's Water Quality Standards in effect as of the date of the first application for this project.
2. No portion of the site lies within the Edwards Aquifer Recharge Zone.
3. All Slopes within the buildable areas are less than 15%

2.3.14. **Environmental Graphics and Signage.** All Environmental Graphics shall comply with the standards set forth in Exhibit "4".

2.3.15. **Project Phasing.** The first phase of development will be a section of the low density residential area. Multiple phases of development occur within the Low Density Residential Area, High Density Residential Area of the Mixed-Use Area and Parkland. Any phase may be constructed in any order, provided utilities and appropriate access (as determined by the City) have been provided and provided that the dedication of the Parkland shall be made in connection with the first development phase.

2.3.16. **Accessory Dwelling Units.** An Accessory Dwelling Unit with no more than one bedroom may be built over a two car or three car garage. Any Accessory Dwelling Unit with more than one bedroom requires a conditional use permit. Although most Accessory Dwelling Units are occupied by family members of the principal residence, or as a guest suite, these units may be rented. An Accessory Dwelling Unit may be served by the same utility connections as the primary residential structure, shall not count in density calculations, shall not count as a separate dwelling unit, and shall be exempt from additional impact fees.

2.3.17. **Standards Relating to Living Courts**

1. Base Zoning MF-12 Multiple Family Residential.
2. Unless specifically designated in this document, all development shall conform to the MF-12 standards and other applicable standards found in Subchapter B of the Land Development Code.
3. The density of the Living Court Section of the development shall not exceed 12.3 dwelling units per acre Net (10.5 DUA Gross).
4. Minimum depth of front setback and corner side setback shall be ten feet (10').
5. Minimum depth of rear setback shall be two feet (2'); one foot (1') at open space.
6. Minimum depth of interior side yard shall be two and one-half feet (2½').
7. Each house shall have a front porch or front patio with a five feet (5') minimum width. The preferred width shall be seven feet (7'). Dimensions of front porches shall be based on the extent of exposed slab.
8. Roof Regulations:
 - A. Pitched roofs may be clad in painted or galvanized metal, clay or concrete tile, or twenty-five year minimum composition shingles.
 - B. Flat roofs are permitted only if habitable as a roof terrace.
 - C. Principal pitched roofs shall have a pitch no less than 5:12. Porch and stoop roofs may be 2:12 minimum pitch. Garage roofs shall have a pitch no less than 3:12.
9. Residential Façades: Residential building exteriors may be finished in painted cementitious siding, LP siding, wood siding, brick, stone, cast stone, stucco, or exterior insulation finishing system (E.I.F.S.). Vinyl siding and metal siding are prohibited.
10. Open terraces, decks, and covered porches may project a distance not exceeding 5 feet into required yards.
11. Motor Court:
 - A. There shall be no outside parking on the Motor Court.
 - B. The Motor Court shall be 16' wide.
 - C. The garage apron shall be designed at 4' wide.
 - D. When a parking pad is provided at the terminus of a motor court it shall be signed as follows or with acceptable language; "Visitor parking only". Where applicable it shall also be posted as "high pressure water line park at own risk".

12. Garages shall be accessed from the Motor Court. Two car garages shall be required for each residential unit.
 - A. The parking spaces in the garage shall fulfill the requirements for residential parking and may not be used for storage.
 - B. No garage shall be converted to a use other than parking and storage.
 - C. The garage shall have minimum outside face of stud dimensions of 20' x 24' or 22' x 22'.
13. The Living Court Section shall conform to the Typical Living Court Site Plan attached hereto.
14. Additional Requirements:
 - A. Two shade trees are required per lot, one of which shall be a street tree, located in the planter strip. Required trees must be maintained and watered by the home owner.
 - B. All lawn areas shall be sod.
 - C. Private yards shall be sodded.
15. Each Living Court Lot will be a part of a condominium homeowners association (Condo HOA) operated as a condominium association in accordance with Laws and Regulations of the State of Texas.
16. The Condo HOA documents shall include the following provisions:
 - A. No Dwelling Unit may be occupied by more than two (2) unrelated persons.
 - B. Owners must obtain a Leasing Permit in order to lease a Dwelling Unit.
 - C. Leasing Permits will not be issued for more than 20% of the Dwelling Units, and Leasing Permits will not be issued for more than 25% of the Dwelling Units on any one lot.
 - D. If due to hardship, an owner may request a Hardship Leasing Permit which the Board shall have the discretionary authority to issue or deny.

3. MISCELLANEOUS

- 3.1. The Developer understands and acknowledges that the Property will be bound by the provisions of these Development Standards as though they were conditions, restrictions and limitations on use of the Property under the City's zoning ordinances.
- 3.2. The Developer, as fee simple owner of the Property, in consideration for the City's approval of the rezoning of the Property, including these Development Standards as an integral part thereof, declares and establishes the following restrictive covenants on the Property in favor of the City. The Developer, on behalf of itself and its successors and assigns with respect to ownership of the Property, covenants and agrees to comply with these Development Standards, and in particular, the following:

- 2.2 Descriptions of land uses
- 2.3 Additions and exceptions to City Code
- 3.0 Miscellaneous

The Developer and the City stipulate that (i) this covenant touches and concerns the Property, (ii) notice will be given by filing of this instrument in the public records of Hays County, Texas, and (iii) these covenants are reasonable in connection with the Project. These covenants run with the title to the Property and are binding on the Property Owner and the Developer's successors and assigns. These covenants may be amended only with the written consent of the City.

3.3. The Property Owner understands and acknowledges that any person, firm, corporation or other entity violating any provisions of these Development Standards shall be subject to all penalties that apply to violation of the zoning ordinances of the City of San Marcos, as amended. The Developer further understands and acknowledges that any person, firm, corporation or other entity violating any provisions of these Development Standards shall be subject to a suit by the City for an injunction to enjoin the violation of these Development Standards as restrictive covenants, and as though they were conditions, restrictions and limitations on use of the Property under the City's zoning ordinance.

3.4. All obligations of the Developer created under these Development Standards are performable in Hays County, Texas and venue for any action arising under these Development Standards shall be in Hays County, Texas. These Development Standards will be construed in accordance with the laws of the State of Texas.

3.5. Nothing in these Development Standards, express or implied, is intended to confer any rights, benefits or remedies under or by reason of these Development Standards upon any person or entity other than the City of San Marcos.

3.6. These Development Standards may be revised and amended only in accordance with the procedures described in the City's zoning and planned development district ordinances, as amended.

3.7. In case one or more provisions of these Development Standards are deemed invalid, illegal or unenforceable in any respect, such invalidity, illegality or unenforceability shall not affect any other provisions hereof and in such event, these Development Standards shall be construed as if such invalid, illegal or unenforceable provision had never been contained herein.

3.8. These Development Standards amend and restate the development standards adopted in connection with the 2004 Blanco River Village Ordinance and the 2008 Blanco River Village Ordinance, in their entirety.

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EXHIBIT "A"

**BLANCO RIVER VILLAGE
AMENDED AND RESTATED PDD**

PROPERTY DESCRIPTION

[see attached pages]

EXHIBIT "B"

**BLANCO RIVER VILLAGE
AMENDED AND RESTATED PDD**

LAND USE PLAN

EXHIBIT "1"
BLANCO RIVER VILLAGE
AMENDED AND RESTATED PDD
STREETS

EXHIBIT "2"

**BLANCO RIVER VILLAGE
AMENDED AND RESTATED PDD
VISUAL GUIDELINES**

Blanco River Village

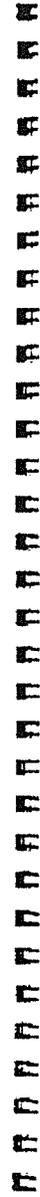


Exhibit "2"

Appropriate Character - Visual Guidelines supplement to Blanco River Village Architectural Guidelines

Examples of Mixed Use Area Commercial Buildings

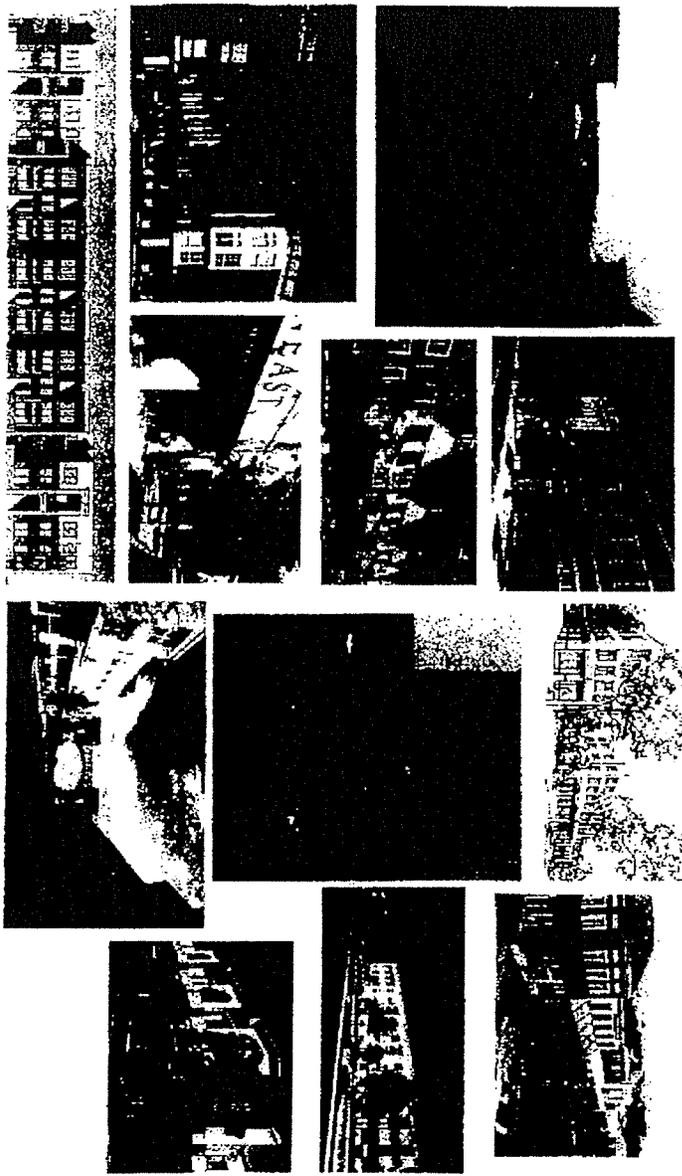
Follow the examples of appropriate topographic architectural building facade design and site planning elements, which fit the scale, proportion, massing and spatial relationships of the historic character of mixed-use areas



Appropriate Character - Visual Guidelines Supplement to Blanco River Village Architecture Guidelines

Examples of Mixed-Use Multi-Buildings

Below are examples of appropriate town center building massing, design and site planning elements, which fit the scale, proportion, massing, and spatial relationships of the historical character of Blanco River Village.



Blanco River Village

Exhibit "2"

EXHIBIT "3"

BLANCO RIVER VILLAGE AMENDED AND RESTATED PDD

PLANT LIST

This Exhibit "3" is a list of plants composed of selective native, adaptive and naturalized plant material suitable for the project. This is not an all-exclusive plant list, but rather a list of appropriate plant materials, which for the most part, are readily available in the local nursery trade. As regional and xeriscape planting techniques become more mainstream, additional native plant species may become available in the marketplace. Therefore, the list of approved plants may be amended from time to time.

Due to the more structured character of Blanco River Village, the area available for landscaping of individual lots is in many cases limited. Landscape planting is provided in the form of street trees, and landscaped open spaces such as squares and parks. Landscape planting is required for large streetyards and parking lots, as more fully set forth in the Planned Development District. Live Oak trees may not be planted as ornamental trees.

A. **Type 1: Shade Trees**

Bald Cypress, *Taxodium disichum*
Cedar Elm, *Ulmus crassifolia*
Drake Elm, *Ulmus parvifolia*
Live Oak Tree-Live Oak, *Quercus virginiana*
Monterey Oak
Pecan, *Carya illinoensis*
Shumard Red Oak, *Quercus shumardii*
Texas Red Oak, *quercus texana*
Mexican Sycamore
Texas Ash

B. **Type 2 : Informal Trees**

1. **Large Shade Trees (Mature Height Over 30')**

Afghan Black Pine, *Pinus elderica*
American Elm, *Ulmus americana*
Arizona Cypress, *Cupressus arizonica*
Anacua, *Ehretia anacua*
Bigtooth Maple, *Acer grandidentatum*
Bur Oak, *Quercus macrocarpa*
Chinkapin Oak, *Quercus muhlenbergii*
Common Persimmon, *Diospyros virginiana*
Durand Oak, *Quercus sinuate*
Drummond Red Maple, *Acer rubrum var. Drummondii*
Eastern Red Cedar, *Juniperus virginiana*
Green Ash, *Fraxinus pennsylvanica*
Honey Locust, *Gleditsia triacanthos*
Lacey Oak, *Quercus glaucoides*
Mexican sycamore, *Platanus Texana*
Mexican White Oak, *Quercus polymorpha*
Montezuma Cypress, *Taxodium mucronatum*
Post Oak, *Quercus stellata*
Shin Oak, *Quercus sinuata*
Southern Magnolia, *Magnolia grandiflora*
Sweetgum, *Liquidambar styraciflua*
Sycamore, *Platanus occidentalis glabrata*
Texas Ash, *Fraxinus texensis*

Exhibit "3"
Plant List

Texas Black Walnut, *Juglans microcarpa*
Texas Buckeye, *Aesculus arguta*
Vasey Oak, *Quercus pungens* 'Vaseyana'
Western Soapberry, *Sapindus saponaria* var. *drummondii*

2. **Small Trees (Mature Height 30' or less)**

Anacacho Orchid Tree, *Bauhinia congesta*
Aristocrat Pear, *Pyrus calleryana* 'Aristocrat'
Blanco Crabapple, *Malus ionensis*
Bradford Pear, *Pyrus calleryana* 'Bradford'
Carolina Buckthorn, *Rhamnus caroliniana*
Carolina Cherry Laurel, *Prunus caroliniana*
Cherry Laurel, *Prunus caroliniana*
Chinese Pistache, *Pistacia chinensis*
Crape Myrtle, *Lagerstroemia indica*
Desert Willow, *Chilopsis linearis*
Deciduous Yaupon, *Ilex vomitoria*
Desert Willow, *Chilopsis linearis*
Escarpment Cherry, *Prunus serotina* 'Escarpment'
Fiddlewood, *Citharexylum berlandieri*
Flameleaf Sumac, *Rhus copallina* and *lanceolata*
Goldenball Leadtree, *Leucaena retusa*
Goldenraintree, *Koelreutaria paniculata*
Honey Mesquite, *Prosopis glandulosa*
Huisache, *Acacia farnesiana*
Japanese Black Pine, *Pinus thunbergii*
Japanese Persimmon, *Diospyros kaki*
Kawakami Pear, *Pyrus kawakamii*
Lilac Chaste Tree, *Vitex agnus-castus*
Loquat, *Eriobotrya japonica*
Mexican Buckeye, *Ungnadia speciosa*
Mexican Plum, *Prunus mexicana*
Mountain Hawthorn, *Crataegus tracyi*
Mountain Laurel, *Kalmia latifolia*
Mexican Olive, *Cordia boissieri*
Mexican Redbud, *Cercis canadensis mexicana*
Prairie Flameleaf Sumac, *Rhus lanceolata*
Mexican Walnut, *Juglans microcarpa*
Possumhaw Holly, *Ilex deciduas*
Purple Leafed Plum, *Prunus cerracifera* 'purpurea'
Red Buckeye, *Aesculus pavia*
Retama, Jerusalem Thorn, *Parkinsonia aculeata*
Reverchon Hawthorn, *Crataegus reverchonii*
Rough Leaf Dogwood, *Cornus drummondii*
Smooth Sumac, *Rhus glabra*
Texas Black Persimmon, *Diospyros texana*
Texas Ebony, *Pithecellobium ebano*
Texas Kidneywood, *Eysenhardtia texana*
Texas Madrone, *Arbutus texana*
Texas Mountain Laurel, *Sophora secundiflora*
Texas Persimmon, *Diospyros virginiana*
Texas Pistache, *Pistacia texana*
Texas Redbud, *Cercis canadensis texensis*
Texas Sabal Palm, *Sabal texana*
Texas Smoke Tree, *Cotinus obovatus*
Vitex, Lilac Tree, *Vitex agnus-castus*
Whitebud, *Cercis Canadensis alba*
Woolly-Bucket Bumelia, *Bumelia lanuginosa*
Wright's Acacia, *Acacia wrightii*
Xylosma, *Xylosma congesta*
Yaupon Holly, *Ilex vomitoria*

Exhibit "3"
Plant List

C. **Type 3: Drought Tolerant Shrubs**

Agarita, *Berberis trifoliolata*
Agave/ Century Plant, *Agave Americana*
Althaea, Hibiscus syriacus
American Beautyberry, *Callicarpa Americana*
American Smoke Tree, *Continus obovatus*
Aralia, *Fatsia japonica*
Arkansas Yucca, *Yucca arkansana*
Arrowwood, *Viburnum dentatum*
Aspidistra, *Aspidistra elatior*
Autumn Sage, *Salvia greggii*
Barbados Cherry, *Malpighia glabra*
Birds of Paradise, *Caesalpinia gilliesii*
Black Dalea, *Dalea frutescens*
Blue Yucca, *Yucca rigida*
Burford Holly, *Ilex cornuta* -- 'Burfordii'
Butterflybush, *Buddleja spp.*
Button Bush, *Cephalanthus occidentalis*
California Fan Palm, *Washingtonia filifera*
Chinese Photinia, *Photinia serrulata*
Convent Cenizo, *Leucophyllum frutescens* 'Convent'
Coral Bean, *Erythrina herbacea*
Coralberry, *Symphoricarpos*
Cotoneaster, *Cotoneaster horizontalis*
Creek Plum, *Prunus rivularis*
Damianita, *Chrysactinia mexicana*
Devil's Shoestring, *Nolina lindheimeriana*
Dwarf Burford Holly, *Ilex cornuta* -- 'Burfordii Nana'
Dwarf Chinese Holly, *Ilex cornuta* -- 'Dwarf Chinese'
Dwarf Germander, *Teucrium laciniatum*
Dwarf Palmetto, *Sabal minor*
Dwarf Wax Myrtle, *Myrica pusilla*
Dwarf Yaupon Holly, *Ilex vomitoria* - 'Nana'
Elaeagnus, *Elaeagnus pungens*
Escallonia, *Escallonia spp.*
Evergreen Sumac, *Rhus virens*
Eve's Necklace, *Sophora affinis*
Flame Acanthus, *Anisacanthus wrightii*
Flowering Quince, *Chaenomeles japonica*
Forsythia, *Forsythia intermedia spectabilis*
Fragrant Sumac, *Rhus aromatica*
Glossy Abelia, *Abelia grandiflora*
Grayleaf Cotoneaster, *Cotoneaster glaucophylla*
Indian Hawthorne, *Raphiolepis indica*
Indigobush, *Amorpha fruticosa*
Italian Jasmine, *Jasminium humile*
Japanese Acuba, *Aucuba japonica*
Japanese Boxwood, *Buxus macrophylla*
Japanese Barberry, *Berberis thunbergii atropurpurea*
Japanese Yew, *Podocarpus macrophyllus*
Juniper, *Juniperus sp.*
Mediterranean Fan Palm, *Chamaerops humilis*
Mexican Oregano, *Poliomintha longiflora*
Nandina, *Nandina domestica*
Ocotillo, *Fouquieria splendens*
Oleander, *Nerium oleander*
Orange Zexmenia, *Zexmenia hispida*
Ornamental Pepper, *Capsicum spp.*
Pale Leaf Yucca, *Yucca pallida*
Pampas Grass, *Cortaderia selloana*

Exhibit "3"
Plant List

Pineapple Guava, *Feijoa sellowiana*
 Pomegranate, *Punica granatum*
 Possum Haw Holly, *Ilex decidua*
 Prickly Pear, *Opuntia phaeacantha*
 Primrose Jasmine, *Jasminum mesnyi*
 Privet, *Ligustrum sinense 'variegatum'*
 Red Yucca, *Hesperaloe parviflora*
 Reverchon Hog Plum, *Prunus reverchonii*
 Rock Cotoneaster, *Cotoneaster horizontalis*
 Rose, *Rosa sp.*
 Rosemary, *Rosmarinus officinalis*
 Rusty Blackhaw Viburnum, *Viburnum rufidulum*
 Sacahuista Bear Grass, *Nolina texana*
 Sago Palm, *Cycas revoluta*
 Scullcap, *Scutellaria suffrutescens*
 Shrubby Boneset, *Eupatorium havanense*
 Sierra Bouquet Cenizo, *Leucophyllum candidum*
 Silk Tassel, *Garrya ovata*
 Silverleaf Cotoneaster, *Cotoneaster glaucophylla*
 Spanish Dagger, *Yucca aloifolia*
 Spicebush, *Lindera benzoin*
 Texas Elbow Bush, *Forestiera pubescens*
 Texas Lantana, *Lantana horrida*
 Texas Mahonia, *Mahonia swaseyi*
 Texas Mock Orange, *Philadelphus texensis*
 Texas Persimmon, *Diospyros texana*
 Texas Sage, *Leucophyllum frutescens*
 Texas Sotol, *Dasyliirion texanum*
 Turks Cap, *Malvaviscus drummondii*
 Twisted-leaf Yucca, *Yucca rupicola*
 Wax Myrtle, *Myrica cerifera*
 Windmill Palm, *Trachycarpus fortunei*
 Yaupon Holly, *Ilex vomitoria*

D. Type 4: Flowering Perennials

Artemisia, *Artemesia schmidtiana*
 Autumn Sage, *Salvia greggii*
 Bamboo Muhly Grass, *Muhlenbergia dumosa*
 Beach Vitex, *Vitex rotundifolia*
 Beautyberry, *Callicarpa americana*
 Bicolor Iris, *Iris sp.*
 Bicolor Sage, *Salvia sinaloensis*
 Bird of Paradise, *Caesalpinia gilliseii*
 Black-eyed Susan, *Rudbeckia hirta*
 Blackfoot Daisy, *Melampodium leucanthum*
 Blue-eyed Grass, *Sisyrinchium spp.*
 Blue Princess Verbena, *Verbena Blue Princess*
 Blue Larkspur, *Delphinium carolinianum*
 Blue Plumbago, *Plumbago auriculata*
 Brazos Penstemon, *Pentstemon tenuis*
 Butterfly Weed, *Asclepias tuberosa*
 Cardinal Flower, *Lobelia cardinalis*
 Cedar Sage, *Salvia roemeriana*
 Cigar Plant, *Cuphea micropetala*
 Chile Petin, *Capsicum annuum*
 Clustered Gold Flowers, *Hymenoxys scaposa*
 Compact Gold Calylophus, *Calylophus drummondianus*
 Copper Canyon Daisy, *Tagetes lemmonii*
 Coralbean, *Dalea greggii*
 Coreopsis, *Coreopsis lanceolata*
 Damianita, *Chrysactinia mexicana*

Exhibit "3"
 Plant List

Daylily, *Hemerocallis* spp.
 Engelmann Sage, *Salvia engelmannii*
 Fall Aster, *Aster oblongifolius*
 Firebush, *Erythrina herbacea*
 Four Nerve Daisy, *Tetaneuris scaposa*
 Gayfeather, *Liatris mucronata*
 Goldenwave, *Coreopsis tinctoria*
 Gray Shrub Sage, *Salvia chamaedryoides*
 Greggs Mistflower, *Eupatorium greggi*
 Harvard Penstemon, *Penstemon havardii*
 Heartleaf Hibiscus, *Hibiscus cardiophyllus*
 Hill Country Penstemon, *Penstemon triflorus*
 Hinkley's Columbine, *Aquilegia* "Hinkleyana"
 Hoja Santa, *Piper sanctum*
 Homestead Verbena, *Verbena canadensis* 'Homestead purple'
 Husker Red Penstemon, *Penstemon digitalis* 'Husker Red'
 Hymenoxys, *Hymenoxys scaposa*
 Indian blanket, *Gaillardia* sp.
 Indigo Spires Sage, *Salvia* 'Indigo Spires'
 Inland Sea Oats, *Chasmanthium latifolium*
 Irene Lantana, *Lantana* 'Irene'
 Lamb's Ear, Esperanza, *Tecoma stans*
 Lily of the Nile, *Agapanthus orientalis*
 Lollie Jackson Mexican Sage, *Salvia leucantha*
 Lyre-leaf Sage, *Salvia lyrata*
 Maximillian Sunflower, *Helianthus maximiliani*
 Mealy Blue Sage, *Salvia farinacea*
 Mexican Marigold Mint, *Tagetes lucida*
 Mexican Oregano, *Poliomentha longiflora*
 Mexican Sage, *Salvia leucantha*
 Michaelmas Daisy, *Aster frikartii*
 Moss Verbena, *Verbena* sp.
 Mountain Sage, *Salvia regal*
 Native Mallow (velvet leaf), *Wissadula holosericea*
 New Gold Lantana, *lantana* sp. 'New Gold'
 Nuevo Leon Sage, *Salvia greggii* "Nuevo Leon"
 Oxeye Daisy, *Chrysanthemum leucanthemum*
 Pecos Penstemon, *Penstemon* spp.
 Peruvian Verbena, *Verbena peruviana*
 Peruvian Rock Rose, *Pavonia lasiopetala*
 Pigeonberry, *ivina humilis*
 Pink Gaura, *Gaura lindheimerii* 'Siskiyou Pink'
 Pink Lantana, *Hamelia patens*
 Pink Skullcap, *Scutellaria suffretescens*
 Plumbago, *Plumbago* sp.
 Pringle's Beebalm, *Monardia pringlei*
 Prostrate Rosemary, *Rosmarinus officinalis*
 Purple Coneflower, *Echinacea purpurea*
 Purple Leaf Sage, *Salvia blepharophylla*
 Rain Lily, *Cooperia pedunculata*
 Rock Penstemon, *Penstemon baccharifolius*
 Royal / Scarlet Sage, *Salvia coccinea*
 Scarlet Sage, *Salvia coccinea*
 Silver Bush Germander, *Teucrium fruticans*
 Skeleton Leaf Goldeneye, *Viguiera stenoloba*
 Spanish Lavender, *Lantana camara*
 Spiderwort, *Tradescantia* sp.
 Texas Betony, *Stachys coccinea*
 Texas Star Hibiscus, *Hibiscus coccineus*
 Toothleaf Goldeneye, *Viguiera*
 Tropical Sage, *Salvia coccinea dentate*

Exhibit "3"
 Plant List

Tropical Milkweed, *Asclepias currassavica*
 Turk's Cap, *Malvaviscus drummondii*
 White Gaura, *Gaura lindheimerii*
 White Rain Lily, *Zephyranthes candida*
 Whitemouth Dayflower, *Commelina erecta*
 Wild Foxglove, *Penstemon cobea*
 Wild Petunia, *Ruellia nudiflora*
 Winecup, *allirhoe involucrata*
 Woolly Bee Brush, *Aloysia macrostachya*
 Yarrow, *Achillea millefolium*
 Yellow Bells, *Tecoma stans*
 Yellow Evening Primrose, *Oenothera missouriensis*
 Zexmenia, *Wedelia texana*
 Zexmenia, *Zexmenia hispida*

E. **Type 5: Annuals, Biennals and Short-Lived Perennials**

Antelope, Antelope Horns , *Asclepias asperula*
 Bluebonnet, *Lupinus texensis*
 Cosmos, *Cosmos bipinnatus*
 Gaillardia "Indian Blanket", *Gaillardia pulchella*
 Horsemint, *Monarda citriodora*
 Indian Paintbrush , *Castilleja indivisa*
 Maximillian Sunflower, *Helianthus maximiliani*
 Mountain Pink, *Centaurium beyrichii*
 Prairie Verbena, *Verbena bipinnatifida*
 Scarlet Flax, *Linum rubrum*
 Texas Bluebell, *Eustoma grandiflorum*

Annuals

Winter/Spring:

Calendula
 Geranium
 Acalypha
 Daffodil (bulb)
 Hyacinth (bulb)
 Ornamental Kale
 Pansy
 Poppy
 Primula
 Snapdragon
 Tulip (bulb)
 Ornamental Pepper
 Dianthus

Spring/Summer

Geranium
 Marigold
 Periwinkle
 Petunia

Summer/Fall

Acalypha
 Ageratum
 Alyssum
 Amaranthus
 Begonia
 Caladium
 Chrysanthemum
 Coleus
 Impatiens
 Marigold
 Ornamental Pepper
 Periwinkle
 Phlox
 Portulaca
 Purslane

F. **Type 6: Groundcovers**

Ajuga, *Ajuga reptans*
 Algerian Ivy, *Hedera canariensis*
 Asiatic Jasmine, *Trachelospermum asiaticum*
 Beargrass, *Nolina texana*
 Bigleaf Periwinkle, *Vinca major*
 Cast Iron Plant, *Aspidistra elatior*
 Cedar Sage *Salvia, romeriana*
 Cherry Sage, *Salvia greggii*
 Confederate Jasmine, *Trachelospermum jasminoides*
 Columbine, *Aquilegia Canadensis*
 English Ivy, *Hedera helix*

Gray Santolina, *Santolina chamaecyparissus*
 Green Santolina, *Santolina virens*
 Hardy Verbena, *Verbena elegans asperata*
 Holly Fern, *Cyrtomium falcatum*
 Horseherb, *Calyptocarpus vialis*
 Liriope, *Liriope muscari*
 Littleleaf Periwinkle, *Vinca minor*
 Maidenhair Fern, *Adiantum capillus-veneris*
 Monkey Grass, *Ophiopogon japonicus*
 Pavonia, *Pavonia lasiopetala*
 Phlox, *drummondii*
 Prairic Verbena, *Verbena bipinnatifida*
 Purple Trailing Lantana, *Lantana montevidensis*
 River Fern, *Thelypteris ovata*
 Spiderwort, *Tradescantia spp.*
 Shore Juniper, *Juniperus conferta 'Blue Pacific'*
 Thrift Phlox, *subulata*
 Trailing Juniper, *Juniperus sp.*
 Trailing Rosemary, *Rosmarinus officinalis 'Prostratus'*
 Wood Fern, *Dryopteris spp.*
 Yarrow, *Achillea millefolium*

G. **Type 7: Ornamental Grasses**

Big Bluestem, *Andropogon gerardii*
 Big Muhly, *Muhlenbergia lindheimeri*
 Blue Fescue, *Festuca glauca*
 Blue Grama, *Bouteloua gracillis*
 Burro Grass, *Scleropogon brevifolius*
 Bushy Bluestem, *Andropogon glomeratus*
 Common Curly Mesquite, *Hilaria belangeria*
 Deer Muhly, *Muhlenbergia rigens*
 Eastern Gamagrass, *Tripsacum dactyloides*
 Gulf Coast Muhly, *Muhlenbergia capillaris*
 Green Sprangletop, *Leptochloa dubia*
 Hairy Tridens, *Erioneuron pilosum*
 Indian grass, *Sorghastrum nutans*
 Little Bluestem, *Andropogon scoparius*
 Maiden Grass, *Miscanthus sinensis 'Gracillimus'*
 Mexican Feathergrass, *Stipa tenuissima*
 Muhly Grass, *Muhlenbergia spp.*
 Perennial Dropseed, *Sporobolus cryptandrus*
 Plains Lovegrass, *Eragrostis intermedia*
 Purple Threeawn, *Aristida purpurea*
 Red Grama, *Bouteloua trifida Thurb.*
 Rescue Grass, *Bromus unioloides*
 Scep Muhly, *Muhlenbergia reverchonii*
 Side Oats Gramma, *Bouteloua curtipendula*
 Switchgrass, *Panicum virgatum*
 Tall Fescue, *Festuca spp. 'Arid'*
 Texas Grama, *Bouteloua rigidiseta*
 Wright's Threeawn, *Dichanthelium oligosanthes*
 Zebra Grass, *Miscanthus sinensis 'Zebrinus'*

H. **Type 8: Turf**

Buffalo Grass	Buchloe dactyloides var. "609" var. Prairic var. Stampede
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Exhibit "3"
Plant List

- Bermuda Grass *Cynodon* spp.
 var. Tex-Turf
 var. 'Sahara New Mx'
- Zoysia Grass *Zoysia* spp.
 var. Zcon
 var. El Toro

I **Type 9: Vines**

- Black Spanish Grapes, *Vitis* spp.
 Boston Ivy, *Parthenocissus tricuspidata*
 Bougainvillea, *Bougainvillea* sp
 Carolina Yellow Jessamine, *Gelsemium sempervirens*
 Champanel Grapes, *Vitis* spp.
 Climbing Rose, *Rosa x bracteaeta*
 Confederate Jasmine, *Trachelospermum jasminoides*
 Coral Honeysuckle, *Lonicera sempervirens*
 Crossvine, *Bignonia capreolata*
 Cypress Vine, *Ipomoea quamoclit*
 Greenbriar, *Smilax bona-nox*
 Honeysuckle, *Lonicera fragrantissima*
 Fig ivy, *Ficus pumila (repens)*
 Lady Banksia, *Rosa banksia*
 Leather Flower, *Clematis pitcheri*
 Mexican Flame Vine, *Senecio confuses*
 Passionflower, *Passiflora incarnata*
 Pepper Vine, *Ampelopsis arborea*
 Perennial Morninglory, *Ipomoea tricolor*
 Queen's Wreath, *Antigonon leptopus*
 Ratan, *Berchemia scandens*
 Silverlace vine, *Polygonum aubertii*
 Trumpet Vine, *Campsis radicans*
 Snapdragon Vine, *Mauranda antirrhiniflora*
 Sweet Autumn Clematis, *Clematis paniculata*
 Virginia Creeper, *Parthenocissus quinquefolia*

J. **Type 10: Shade Tolerant/ Moist Area Plants**

- Bacopa, Creeping Waterhyssop, *Bacopa repens*
 Canada Wildrye, *Elymus canadensis*
Carex amphibala
 Carex Sedges, *Carex* spp
 Maidenhair Fern, *Adiantum capillu-veneris*
 Pickerel Weed, *Pontederia cordata*
 Prairie Cordgrass, *Spartina pectinata*
 Pukea, *Cyrtandra pupukeaensis*
 Spike Rush, *Eleocharis montevidens*
 Spilandes, *Spilandes* spp.
 Star Sedge, *Carex pauciflora*
 Three Flowered Melic, *Melica nitens*

EXHIBIT "4"

BLANCO RIVER VILLAGE AMENDED AND RESTATED PDD

ENVIRONMENTAL GRAPHICS AND SIGNAGE STANDARDS

The purpose of the regulations set forth in this Exhibit "4" is to coordinate the type, placement, and physical dimensions of signs and environmental graphics within the Property.

1. **Permitted Signs.** The following types of advertising signs are permitted on the Property, subject to the standards set forth in this Section.

(a) **Window Signs.** Food and Entertainment uses may use internally lit window signs (made of decorative neon) inside of their businesses. Any business shall be limited to a maximum of two (2) window signs.

(b) **Projecting Signs.** Projecting Signs, which are mounted under canopies or projected in a sidewalk casement perpendicular to a building facade, are permitted up to ten (10) square feet in size per sign, provided that there is a clearance of at least eight feet (8') between the bottom of the sign and the ground.

(c) **Rental Signs.** Temporary, non-illuminated signs advertising the sale, lease or rental of the premises upon which the sign is located are permitted.

(d) **Name Plates.** Professional name plates and signs not exceeding three (3) square feet in size are permitted. Name plates may be mounted, projecting or shingle.

(e) **Information Signs.** Information signs are permitted. Information signs may be freestanding or mounted. Signs shall not encroach into the Sight Triangle at street intersections.

(f) **Temporary Signs and Banners.** Temporary banners and signs promoting a special event, such as, but not limited to, a fair, exposition, play, concert, or meeting sponsored by a governmental, charitable, educational, or religious organization are permitted.

(g) **Special Events Signs.** The Master Architectural Control Committee may approve the use of signs for special events.

(h) **Wall Signs.** The size of a wall sign shall be limited to the size of the building wall it is attached to: either 10 percent of the wall area or 1.5 square feet for each linear foot of the building's wall, whichever is less.

(i) **Awning Signs.** Individual letters on awning signs shall not exceed eight inches (8") in height.

(j) **Grand Opening Signs.** When a certificate of occupancy has been issued for a new business and within one (1) year thereafter, one (1) Grand Opening Sign permit shall be allowed to advertise the new business. On-Site signs may include either a banner or pennant, which may be in addition to any other legal sign allowed by these regulations. The height and area of such signs shall be limited to the applicable regulations for the sign classification. In addition to the on-site Grand Opening Sign, a temporary sign may be placed off-premises with the permission of the property owner. The permit holder shall be the responsible party for compliance with the Grand Opening Sign Permit regulations. A Grand Opening Sign permit shall not be valid for more than sixty (60) days. No permit fee shall be required for a Grand Opening Sign permit. After the expiration of the initial sixty (60) day period, a business may request sixty (60) day extensions during the one (1) year period, subject to the approval of the City Council.

(k) Sandwich Board Signs. One (1) temporary Sandwich Board sign shall be allowed per business, provided such sign does not exceed forty-eight inches (48") high and thirty-six inches (36") wide and is located in front of the business site. Sandwich Board Signs may be placed in front of another business site with the approval of that business owner. For the purpose of this regulation, Sandwich Board signs shall include casels and podiums.

(l) Monument Signs. Freestanding signs mounted on landscape walls, or in medians of adjacent entry streets or internal drive aisles.

2. **Prohibited Signs**. The following types of signs are prohibited on the Property:

(a) Permanent High Intensity Signs. Signs which contain or consist of spinners, strings of light bulbs, flashing lights, or other similar moving devices are prohibited, with the exception of special event signs or decorations approved by the City Manager. These devices, when not part of any sign, are similarly prohibited.

(b) Signs on Vehicles. Signs placed on vehicles or trailers which are parked or located for the primary purpose of displaying such sign are prohibited. This does not apply to allowed temporary signs or to signs or lettering on buses, taxis, or vehicles operating during the normal course of business.

(c) Illegal Activities. Signs advertising activities which are illegal under federal, state or city law or regulations are prohibited.

(d) Signs Above Roof Lines. Signs which are mounted so as to be displayed above the roof line or parapet of the building to which they are attached are prohibited.

(e) Portable Signs. Portable signs are prohibited, with the exception of those approved by the City.

(f) Billboard Signs and Monopole Signs. All billboards and other freestanding signs mounted on monopoles are prohibited, except in areas of the Property which are not yet developed, in which case billboard or freestanding signs advertising a Developer's project on the Property may be erected with the approval of the applicable Architectural Control Committee, subject to the City's sign ordinance.

(g) Internal lit box signs.

3. **Illumination of Signage**

(a) Shielded Light. The light from any illuminated sign shall be so shaded, shielded, or directed that the light intensity or brightness shall not adversely affect surrounding or facing premises nor adversely affect safe vision or operations of vehicles moving on adjacent streets. Light shall not shine or reflect in an offensive manner on or into residential structures, including motels or hotels or create an unreasonable glare on adjacent buildings.

(b) Permitted signs may be internally lit.

(c) Exposed Bulbs. No exposed reflective-type bulbs or incandescent lamps may be used on the exterior surface of any sign in such a manner that will cause glare on adjacent property or create a traffic hazard.

(d) Beacon Lights. No revolving beacon lights are permitted.

4. **Street signs**. At developer's option, alternative street identification signs may be used (incorporated to aesthetically enhance the PDD development). Such signs shall be approved by the City.



17 September 2012, C. E.

Thom Prentice, Ph.D.
213 Trestle Tree
San Marcos, TX 78666

thomprentice@gmail.com
512-923-7211

To The Mayor; Council; and Planning and Zoning Commission:

As a follow-up to my remarks at the Board of Realtors gathering the other day, I wanted to put into writing my concerns about the Planning and Zoning and Development Catastrophe which has been imposed on the people living in single family dwellings on Trestle Tree.

First, one of the problems seems appears to be the inadequacy of the "Notice of Public Hearing".

Several months ago the person from whom I rent showed me a similar "Notice" but about something else. The landlord could not decipher it. He gave it to me. As a guy with a Ph.D., I struggled to understand what the "Notice" was notifying him of. (If a guy with a Ph.D. has to struggle through such a notice, it is a lead pipe cinch that people with college degrees or high school diplomas would struggle let alone the folks who were not able, because of the system, to continue or complete education.)

I wasn't sure but it seemed like a retroactive rezoning of a re-planning or rezoning or something so convoluted that it seemed only to make sense to lawyers. Perhaps the notice was designed by lawyers? It is clearly not public information in the user-friendly sense of the word. As a Language and Literacy type of person, I suggest we think about using user-friendly language – like plain English.

Now he has given me yet another letter, this one perhaps a bit more user-friendly but still inadequate in its mission of communicating public information in plain English. I have attached a copy of it.

First I suggest thinking about using a black seal of the city instead of the more costly use of

color. Believe me, I know the cost of ink and toner.

More substantively, I would ask you to take a look at the two circled phrases in the second paragraph.

The first, "a smaller street section" does not define what a smaller street section is. It shows the area involved on the map on the other wise, but neither defines "a smaller street section" nor shows a picture, which would be vastly more communicative and indeed, is from whence language arose.

The second phrase "courtyard homes, a new housing type" is similarly neither defined or portrayed. Given that it seems to authentically BE a "new housing type" one might want to re-think the idea of whether purposes are served for the people of the neighborhood and of San Marcos by neither defining such a "new housing type" or again, showing some sort of image.

So perhaps this entire owner notification system could be re-examined.

There may be nothing at all WRONG with either "a smaller street section" or "courtyard homes, a new housing type" and they may be excellent examples of "responsible" and "quality" development. But it is impossible to say based on the information contained in that "Notice". And it is too much trouble for an owner or resident or voter to call and ask in a Homo sapiens sapiens typical busy day in this civilization. These sorts of communiques can be far more informative.

May I also take the opportunity to further define the Planning and Zoning and Development Catastrophe on Trestle Tree?

As I said at the Realtors gathering, one side of Trestle Tree is composed of single family dwellings. So far, so good.

However, the other side of Trestle Tree (right along the railroad tracks) is totally composed of multi-family housing; that is to say condominiumia. Or perhaps condominiumia mania.

As they were going up, I thought, 'surely they will alternate with single family dwellings' but, silly me!

Three single family dwellings which, using conservative numbers, would include six residents (density), are the equivalent to six buildings, each containing two condominiumia, a total of twelve. Again, using conservative numbers, that would be the equivalent to twenty four residents –

twice the number of people in the single family dwellings.

It also seems, despite garages and parking places, that every resident across the street in the condominia seems to have more than one vehicle. They are all uniformly loud. Often blaring music. And, despite garages and parking patios, all parked on the street!

I have even had to go outside late during weeknights and "use my teacher voice" to get three mid-week parties on different nights quieted down, noting that there are lots of infants and toddlers and school children let alone workers who need their sleep. That seems to have done the trick.

This I consider to be an excellent example of "Not Responsible" and "Not Quality" development at the very least and a Planning and Zoning catastrophe.

So the person from whom I rent and I are wary of whatever is going down in this latest notice. The latest notice might be fine and might NOT be a Planning and Zoning Catastrophe like Trestle Tree. Indeed, the proposal might have great merit as well as greenness and sustainability. It is just that one cannot determine whether that is the case from the current format and language of the "Notice".

If you have acted on this, I urge you to reconsider and re-notify the owners/voters/residents about just what exactly all this means. That is one of my favorite questions: "what does this mean?".

If it really is A-OK, then I still urge you to send around a follow-up notice of action with "more better" English and some word definition as well as the right for owners/voters/residents to have the matter reconsidered if everything is NOT A-OK.

On a meta/macro level, why not rethink the format of the notice? And perhaps there should be an instant status update window on the San Marcos homepage for each proposed zoning change as well as top-of-the-page promotion of the window.

Finally, I do not mean to criticize the folks who came up with the "Notice" format and design. Unless, of course, they are lawyers.

Sincerely,



THOMAS ARCHER PRENTICE, Ph.D.



DEVELOPMENT SERVICES-PLANNING

August 31, 2012

**Notice of Public Hearing for
Planned Development District
Blanco River Village Subdivision**

Scott Bauer, on behalf of Bigelow San Marcos Development, L.L.C., is seeking to amend the Development Standards for the Blanco River Village Subdivision (Ordinances 2004-61, 2008-49, and Ordinance 2012-02).

The purpose of the requested amendment is to amend Section 2.3.10 of the Development Standards of the PDD Standards, to allow for a smaller street section that would allow for courtyard homes, a new housing type.

PDD-11-13(a) – Hold a public hearing and discuss a text amendment to the existing Development Standards for the Blanco River Village Planned Development District (“PDD”), consisting of 103.788 acres of land, more or less, located in the 1400 through 1900 blocks of State Highway 21, as originally approved by Ordinances 2004-61 and 2008-49, and amended by Ordinance 2012-02.

The San Marcos Planning & Zoning Commission must hold a public hearing prior to taking action on the requests to obtain citizen comment. Because you are listed as the owner of property located within the effected rezoning area or within 200 feet of the subject property, we would like to notify you of the public hearing and seek your opinion of the requests. The Planning & Zoning Commission may take action on the requests after holding the Public Hearing. Any action to be considered by the Planning and Zoning Commission will be posted as a separate item on the Agenda.

The public hearing will be held in the City Council Chambers of City Hall, 630 East Hopkins, on **Tuesday, September 11th at 6:00 p.m.** All interested citizens are invited to attend and participate in the public hearing. If you cannot attend but wish to comment, you may write to the following address:

Development Services - Planning
630 East Hopkins
San Marcos, TX. 78666
Email: planning_info@sanmarcostx.gov

Your written comments will be given to the Planning & Zoning Commission if they are received before 5 PM on the day of the meeting. For more information regarding this request, contact the Development Services - Planning Department of the City of San Marcos at 512-393-8230. When calling, please refer to the case number provided above.

Individuals who require auxiliary aids and services for this meeting should contact the City of San Marcos Development Services-Planning at 393-8230 or Relay Texas at 1-800-735-2989.

DEVELOPMENT SERVICES - PLANNING
Enclosure: Map (See Reverse)



MEMO

TO: PLANNING AND ZONING COMMISSION
FROM: John Foreman, Planning Manager
THROUGH: MATTHEW LEWIS, DIRECTOR OF DEVELOPMENT SERVICES
DATE: August 23, 2012, updated September 20, 2012
RE: Downtown Architectural Standards

Update: September 20, 2012

Attached are revised Standards. In response to the issues identified in the memo below, at the August 28th meeting the Commission directed staff to revise the standards to allow for some administrative approval of deviation. Following this direction, staff has revised the drafts of Article 6 and Article 7 to allow the Development Review Committee (DRC) to approve deviations from the standards so long as they are consistent with the Design Guidelines. The drafts also clarify that should the DRC deny a deviation, it may proceed to the Planning and Zoning Commission for a Warrant. Additionally, Article 6 has been clarified to be applicable only to the downtown, a suggestion recommended by the San Marcos Area Board of Realtors (SMABOR).

Staff has included cost breakdowns of the proposed lighting and will provide a presentation on this to the Commission and answer questions.

As part of the ordinance approving the Downtown SmartCode, Council directed staff to work with Winter & Company to draft architectural standards within one year of the adoption. The standards were released to the public the week of August 13. This memo outlines the revisions that have been made since the August 14 Planning and Zoning Commission meeting.

Staff has received very few public comments, although the San Marcos Area Board of Realtors submitted detailed commentary. Many of the suggestions have been incorporated and a detailed staff response to the SMABOR is included in the packet.

Staff would like to bring the standards for Warrants to the attention of the Commission. Currently, the SmartCode allows for the following variations from standards:

- **DRC** – Administrative Approval
- **Warrant** – P&Z approval similar to CUP
- **Variance** – ZBOA approval, same as LDC

The new articles allow for the following:

- **Article 6: Building Design** allows a warrant procedure for exceptions to the upper floor massing requirement.

- **Article 7: Sign Standards** allows DRC approval of neon, halo or diffused internal illumination; approval of wayfinding signs; and approval of a monument or pole sign in other areas beyond the specific thoroughfares identified in section 7.4.1.b Special Sign Types.

SMABOR has suggested that a warrant be available for any item in Articles 6 or 7. Staff feels allowing for warrants to be applicable to the entirety of Article 6 and 7 would allow for flexibility. With the use of the Design Guidelines and the public review of the warrant process, the intent would be maintained. Staff has made no revisions to the warrant process in the Architectural Standards and seeks input from the Commission.

Below is the complete timeline for the Downtown Architectural Design Standards project.

2011

- **April 12, 2011** – Planning and Zoning Commission votes to approve the request to rezone Downtown to SmartCode
- **April 19, 2011** – Ordinance 2011-17 approved by City Council establishing the Downtown SmartCode
- **May – June 2011** – Discussions between staff and Winter & Company, scope outlined
- **July 2011** – Contract drafted
- **August 26, 2011** – Letter of Agreement to enter into contract with Winter & Company signed by City Manager Jim Nuse
- **September 12, 2011** – Letter of Agreement to enter into contract with Winter & Company signed by Noré Winter
- **October 18, 2011** – First public meetings held; two workshops (one afternoon session and one evening session)
- **November - December 2011**– Design elements modeled based on input received

2012

- **January 25, 2012** – Second public meetings held; again, two workshops (one afternoon session and one evening session). Design elements presented for public comment
- **February - March 2012** – Winter & Company draft Design Standards based on input received
- **May 3, 2012** – Winter & Company and staff present draft outline of standards in a third set of public meetings.
- **May 2012** – Winter & Company work with staff to draft final standards
- **June 2012** – Final draft standards delivered, final reviews
- **August 2012** – Final standards presented to Boards and Commissions

Upcoming -

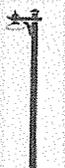
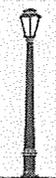
- **September 2012** – Final standards presented to City Council

ARTICLE 3. COMMUNITY PLANS

San Marcos, Texas

TABLE 3.6. PUBLIC LIGHTING

Lighting varies in brightness and also in the character of the fixture according to the Transect. LED or similar efficiency is recommended. Lighting is required. See Design Guidelines for standard details.

	T1	T2	T3	T4	T5	SD	Specifications
Cobra Head 	▪					▪	<u>Cobra Head Standard Detail</u> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/>
Pipe 	▪	▪	▪				<u>Post Roadway Standard Detail</u> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/>
Post 		▪	▪	▪			<u>Post Pendant Standard Detail</u> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/>
Column 			▪	▪	▪		<u>Antique Single Standard Detail (required downtown)</u> <u>Modern Single Standard Detail</u> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/>
Double Column 					▪		<u>Antique Double Standard Detail (required downtown)</u> <u>Modern Double Standard Detail</u> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/>

Cost Analysis for Street and Pedestrian Lighting Standards and Specifications SmartCode Architectural Standards September 18, 2012

Lighting Type	Product #	LED Cost	Equivalent	HPS Cost
25.5" Cobra Head 40.25" Cobra Head	S5995D Luminaire	\$ 420.00	HPS 100	\$ 92.68
	S5995E Luminaire	\$ 750.00	HPS 250	\$ 134.00
	DS30 Pole (30')	Waiting on estimate		
Post Roadway	S5995F Luminaire	\$ 1,250.00		
	SP5995B Pole (12')	\$ 580.00		
	SA5995D Single Arm Bracket	\$ 420.00		
	TOTAL \$	2,250.00		
Post Pendant	S5995G Luminaire	\$ 1,110.00		
	SP5995C Pole (20')	\$ 565.00		
	SA5995E Single Arm Bracket	\$ 555.00		
	SA5995F Decorative Base	\$ 890.00		
TOTAL \$	3,120.00			
Antique	Single S5995A Luminaire	\$ 1,130.00		
	SP5995 Pole (12')	\$ 1,040.00		
	TOTAL \$	2,170.00		
	Double S5995A Luminaire	\$ 2,980.00		
SA5995C Twin Arm Bracket	\$ 895.00			
TOTAL \$	3,875.00			
Modern	Single S5995C Luminaire	\$ 1,450.00		
	SP5995A Pole (12')	\$ 920.00		
	TOTAL \$	2,370.00		
	Double S5995C Luminaire	\$ 2,900.00		
SP5995A Pole	\$ 920.00			
SA5995G Twin Arm Bracket	\$ 840.00			
TOTAL \$	4,660.00			

ARTICLE 5. LOT AND BUILDING REGULATIONS

San Marcos, Texas

Frontage for every ten vehicular parking spaces.

5.10. LANDSCAPE STANDARDS

5.10.1. GENERAL TO ZONES T2, T3, T4, T5

- a. Impermeable surface shall be confined to the ratio of Lot coverage specified in Table 1.3 and Table 1.2

5.10.2. SPECIFIC TO ZONES T2, T3, T4,

- a. The first Layer may not be paved, with the exception of Driveways as specified in Section 5.10.4 and Section 5.10.6. (Table 6.1d)

5.10.3. SPECIFIC TO ZONE T3

- a. A minimum of two trees shall be planted within the first Layer for each 30 feet of Frontage Line or portion thereof. (Table 6.1d)
- b. Trees may be of single or multiple species as shown on Table 3.5.
- c. Trees shall be naturalistically clustered.

5.10.4. SPECIFIC TO ZONE T4

- a. A minimum of one tree shall be planted within the first Layer for each 30 feet of Frontage Line or portion thereof. (Table 6.1d)
- b. Trees shall be a single type to match the type of Street Trees on the Public Frontage, or as shown on Table 3.5.

5.10.5. SPECIFIC TO ZONE T5

- a. Trees shall not be required in the first Layer.
- b. The first Layer may be paved to match the pavement of the Public Frontage.

5.11. SIGNAGE STANDARDS

5.11.1. GENERAL TO ZONES T3, T4, T5

- ~~a. There shall be no signage permitted additional to that specified in this section.~~
- ~~b. The address number, no more than 6 inches measured vertically, shall be attached to the building in proximity to the Principal Entrance or at a mailbox.~~

5.11.2. SPECIFIC TO ZONES T2, T3

- ~~a. Signage shall not be illuminated.~~

5.11.3. SPECIFIC TO ZONES T4, T5

- ~~a. Signage shall be externally illuminated, except that signage within the Shopfront glazing may be neon or LED lit.~~

5.11.4. SPECIFIC TO ZONES T2, T3, T4,

- ~~a. One blade sign for each business may be permanently installed perpendicular to the Facade within the first Layer. Such a sign shall not exceed a total of 4 square feet and shall clear 8 feet above the Sidewalk.~~

5.11.5. SPECIFIC TO ZONE T5

- ~~a. Blade signs, not to exceed 6 square ft. for each separate business entrance, may be attached to and should be perpendicular to the Facade, and shall clear 8 feet above the Sidewalk.~~
- ~~b. A single external permanent sign band may be applied to the Facade of each building, providing that such sign not exceed 3 feet in height~~

ARTICLE 6. DOWNTOWN DESIGN STANDARDS

6.1. INSTRUCTIONS

6.1.1. Applicability

- a. Lots and buildings located within downtown San Marcos as defined by the Design Contexts Map in the Downtown Design Guidelines Appendix to this Code and governed by this Code shall be subject to the requirements of this Article.

6.1.2. Deviations

- a. Deviations from the requirements of this Article may be approved administratively by the DRC subject to the criteria and standards established in the Downtown Design Guidelines.
- b. Should the DRC deny a request for a deviation under this Article, the applicant may apply for a Warrant from the Planning and Zoning Commission consistent with the procedures for a Warrant in Section 1.5.2.

6.2. CONTEXTUAL HEIGHT STEP DOWN REQUIREMENT

6.2.1. SPECIFIC TO ZONES T4, T5

- a. A step down in height is required for all buildings adjacent to a Sensitive Site.
- b. A maximum height of three stories is permitted within 25 feet of a side property line adjoining a Sensitive Site.
- c. A maximum height of three stories is permitted within 12 feet of a front property line across the street from a Sensitive Site.

TABLE 6.1 CONTEXTUAL HEIGHT STEP DOWN

The following table illustrates the two contextual height step down requirements.

<p>a. Side adjacency: A maximum height of three stories is permitted within 25 ft. of a side property line adjoining a Sensitive Site.</p>
<p>b. Across street: A maximum height of three stories is permitted within 12 ft. of a front property line across the street from a Sensitive Site.</p>

6.3. EXPRESSION REQUIREMENTS

6.3.1. SPECIFIC TO ZONES T4, T5

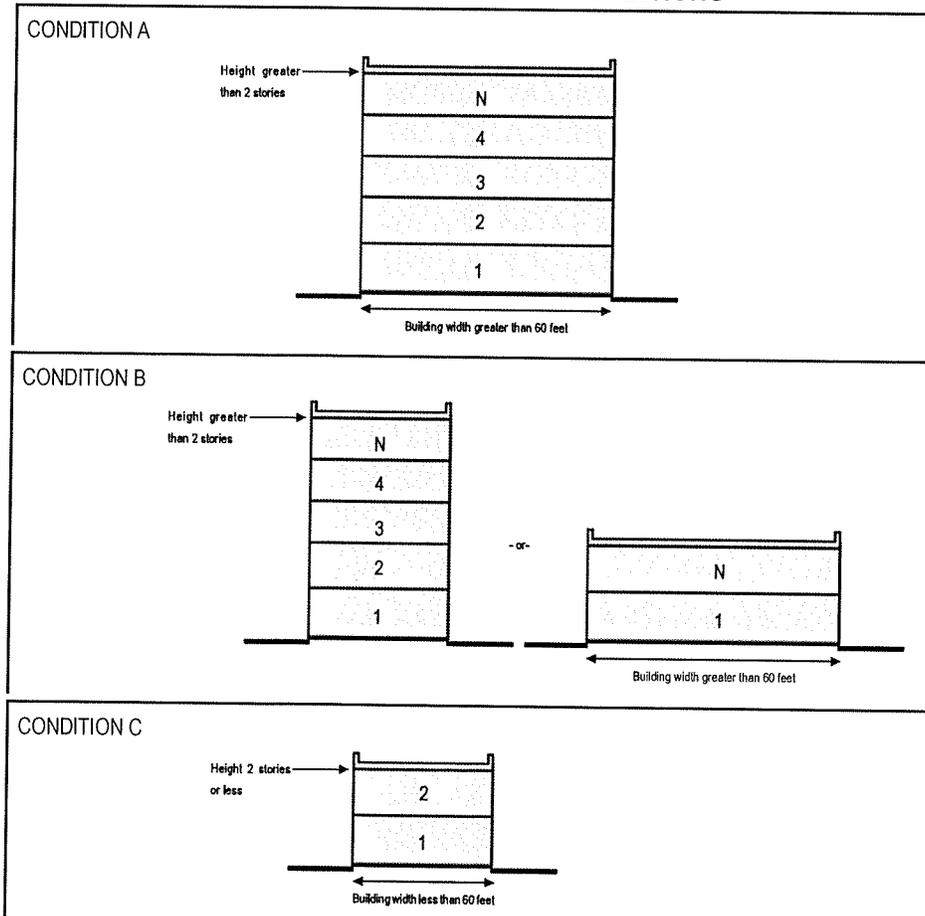
6.3.2. A minimum number of expression tools shall be applied as specified below and in Tables 6.2 and 6.3, and as illustrated in Table 6.4.

- a. Condition A, buildings with a facade width greater than 60 feet **AND** a height greater than 2 stories:
 - i. A minimum of two horizontal expression tools is required.
 - ii. At least one vertical expression tool is required.
- b. Condition B, buildings with a facade width greater than 60 feet **OR** a height greater than 2 stories:
 - i. A minimum of three expression tools shall be used.
- c. Condition C, buildings with a facade width of 60 feet or less and a height of 2 stories or less:
 - i. A minimum of two expression tools shall be used.

6.3.3. Any combinations of the wall notch, wall offset and vertical expression line alternatives shall count as only one expression alternative.

6.3.4. Vertical expressions shall be applied across the entire height of the facade.

TABLE 6.2 EXPRESSION REQUIREMENT CONDITIONS



ARTICLE 6. DOWNTOWN BUILDING DESIGN

San Marcos, Texas

TABLE 6.3 EXPRESSION REQUIREMENTS

The following table outlines the expression tool requirements based on building facade width and height.

CONDITION A		CONDITION B	CONDITION C
Facade width > 60 ft. and building height > 2 stories		Facade width > 60 ft. or building height > 2 stories	Facade width ≤ 60 ft. and building height ≤ 2 stories
Select a minimum of two alternatives	Select a minimum of one alternative	Select a minimum of three alternatives	Select a minimum of two alternatives

Horizontal Expression Tools

<p>a. Varied Parapet Height*: An offset in parapet height of at least 2 ft. at a minimum of every 60 ft. in building width.</p> <p>*The varied parapet height tool provides both horizontal and vertical articulation</p>		T4 T5				
<p>b. Canopy: Canopies or awnings which run across the full width of fenestrations on the first floor facade.</p>		T4 T5				
<p>c. Second Floor Expression Line: A line prescribed at a certain level of a building for the major part of the width of a facade, expressed by a variation in material or by a limited projection such as a molding or balcony.</p>		T4 T5				
<p>d. Cornice: A cornice detail of at least 18 in. height and 6" in depth for the entire width of the front facade.</p>		T4 T5				

Vertical Expression Tools

<p>e. Wall Notch: A front facade setback of a minimum depth of 4 ft. and length of 8 ft. at a minimum interval of every 60 ft. across the building frontage.</p>		T4 T5				
<p>f. Vertical Expression Line: A vertical line expressed by a substantial change in material or vertical molding with a minimum size of at least 4 in. depth and 12 in. width, at a minimum interval of every 60 ft. across the building facade.</p>		T4 T5				
<p>g. Wall Offset: Facade modules of a maximum length of 60 ft. with a minimum of a 4 ft. offset from an adjacent module.</p>		T4 T5				

ARTICLE 6. BUILDING DESIGN

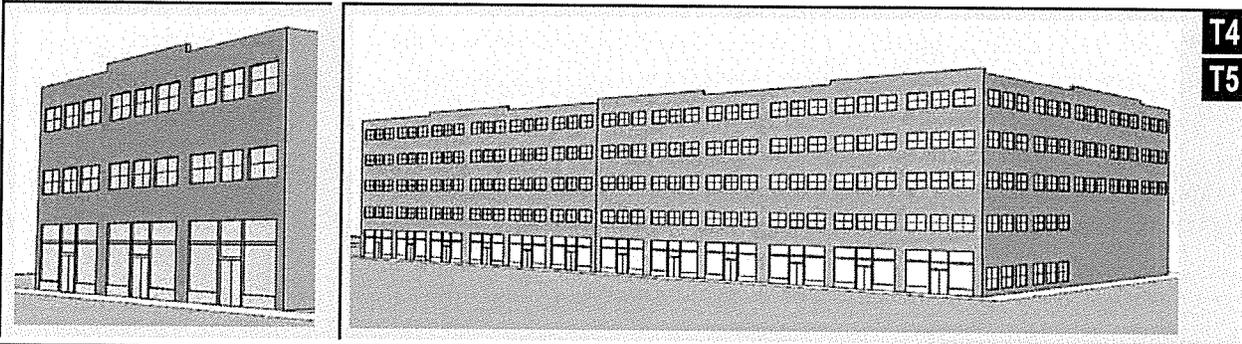
San Marcos, Texas

TABLE 6.4 EXPRESSION TOOLS

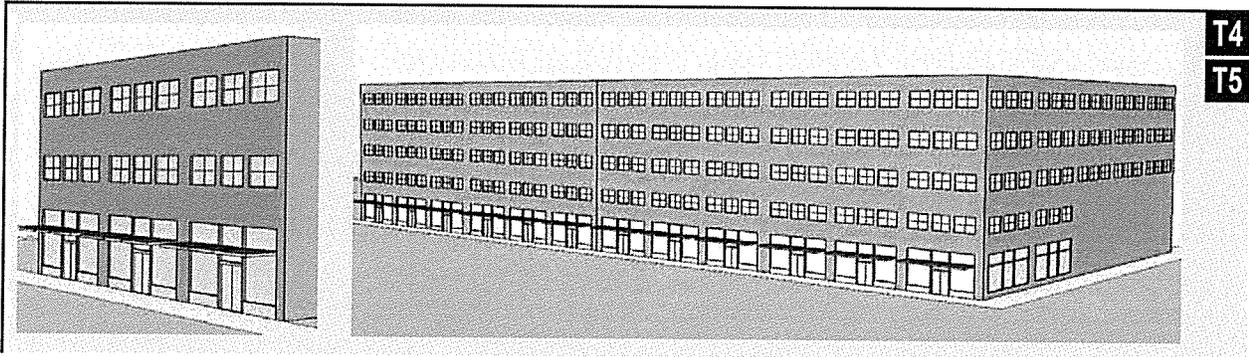
The following table illustrates the alternative expression tools.

Vertical Expression Tools

a. Varied Parapet Height: An offset in parapet height of at least 2 ft. spaced at a minimum of every 60 ft. across the building frontage.



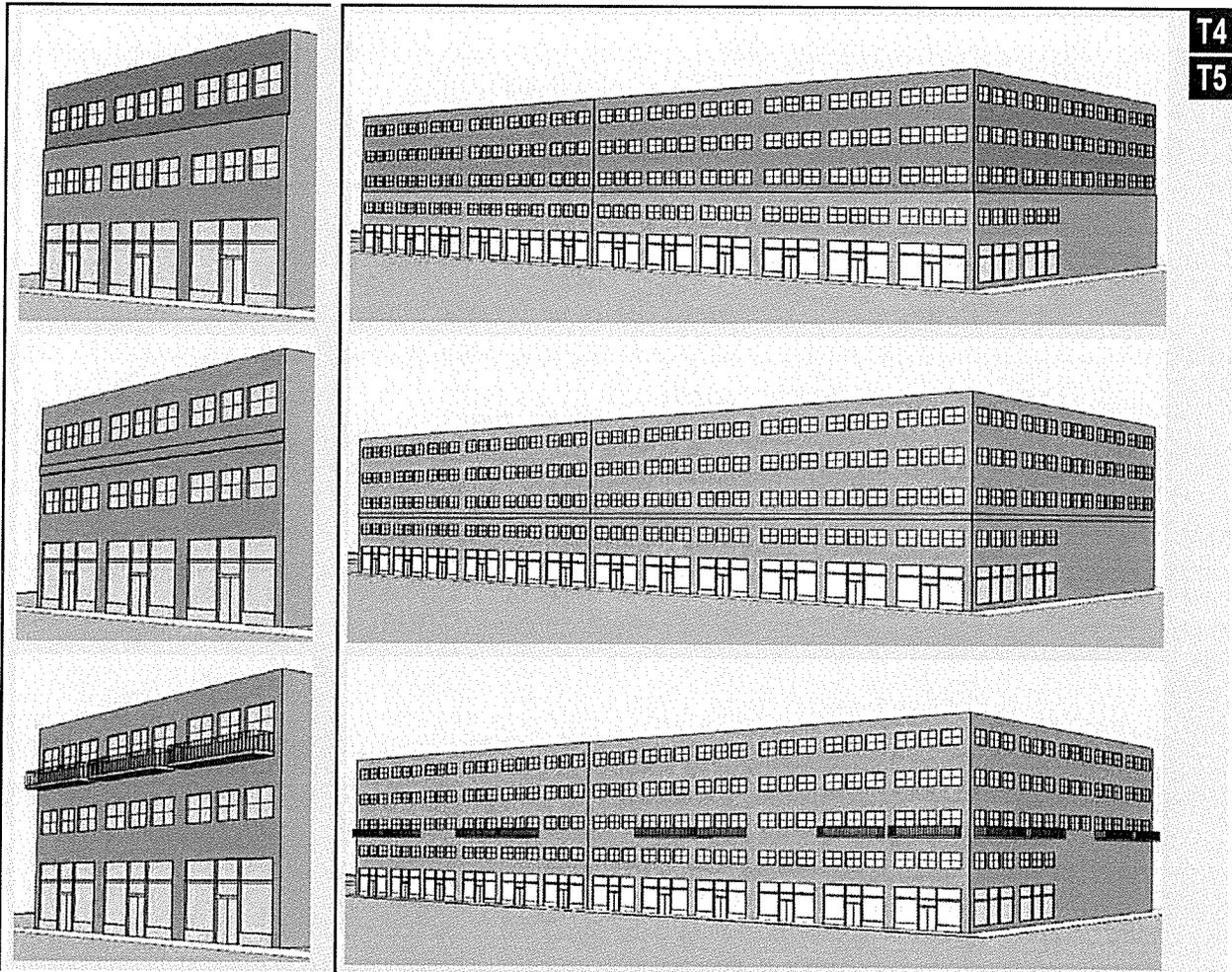
b. Canopy: Canopies or awnings which run across the full width of fenestrations on the first floor facade.



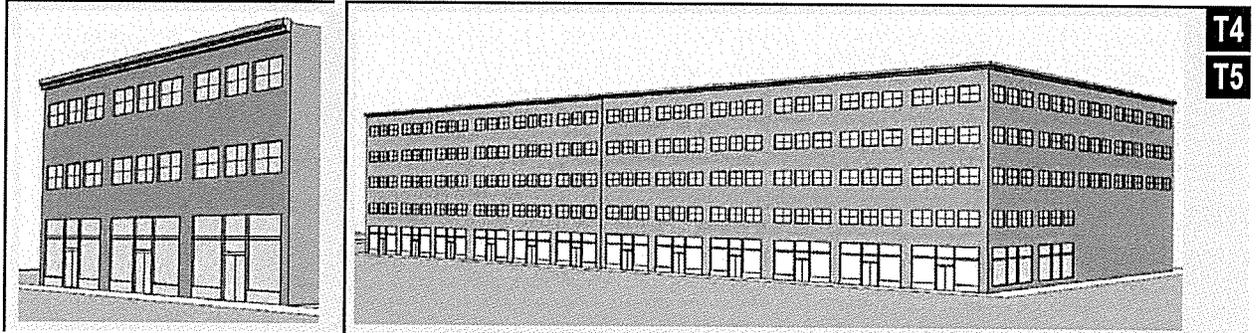
ARTICLE 6. DOWNTOWN BUILDING DESIGN

San Marcos, Texas

c. **Second Floor Expression Line:** A line prescribed at a certain level of a building for the major part of the width of a facade, expressed by a variation in material or by a limited projection such as a molding or balcony.



d. **Cornice:** A cornice detail of at least 18 in. height and 6 in. in depth for the entire width of the frontage

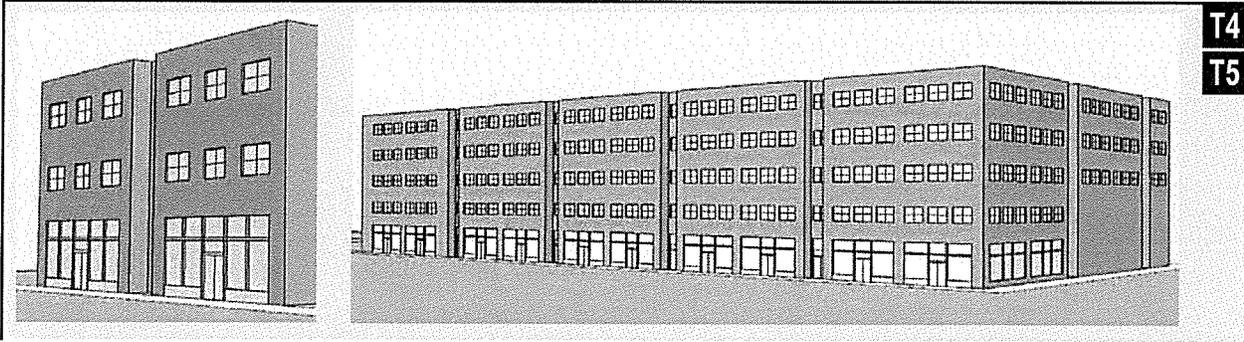


ARTICLE 6. BUILDING DESIGN

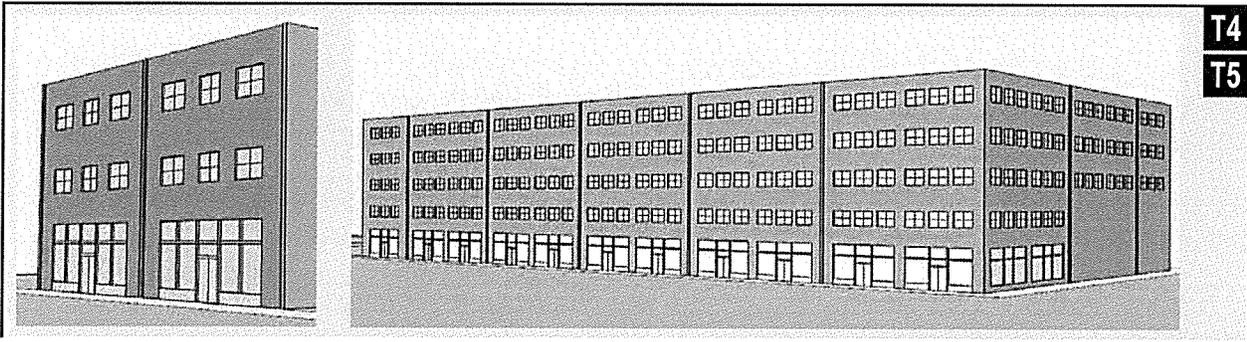
San Marcos, Texas

Vertical Expression Tools

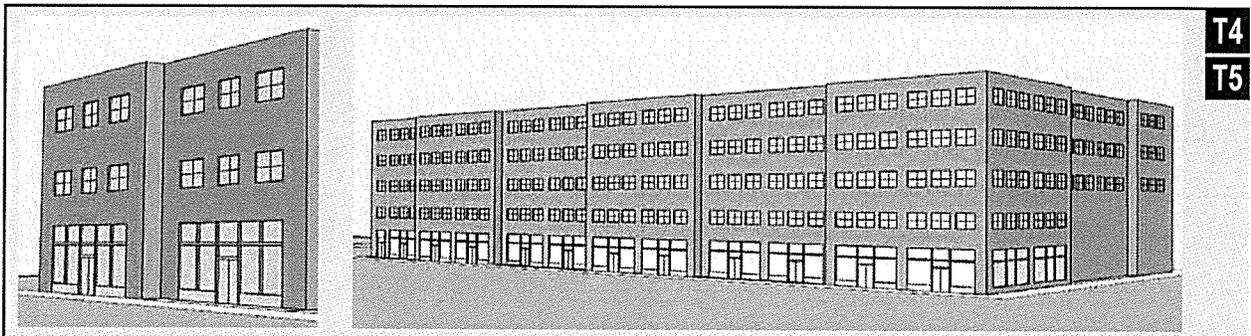
e. Wall Notch: A front facade setback of a minimum depth of 4 ft. and length of 8 ft. spaced at a minimum interval of every 60 ft. across the building frontage.



f. Vertical Expression Line: A vertical line at a minimum interval of every 60 ft. across the building frontage. This may be expressed by a substantial change in material or a vertical molding with a minimum size of at least 4 in. depth and 12 in. width.



g. Wall Offset: Facade modules of a maximum length of 60 ft. with a minimum of a 4 ft. offset from an adjacent module.



ARTICLE 6. DOWNTOWN BUILDING DESIGN

San Marcos, Texas

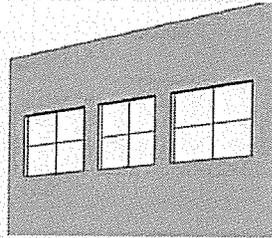
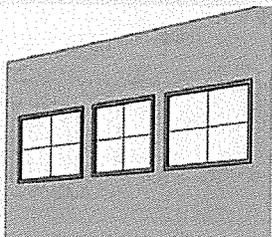
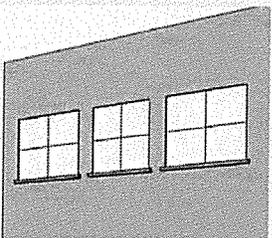
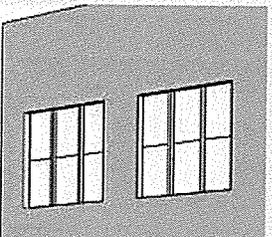
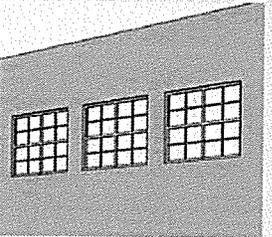
6.4. UPPER FLOOR WINDOW DESIGN REQUIREMENTS

6.4.1. SPECIFIC TO ZONES T4, T5

- a. Each principal frontage shall use a minimum of one upper floor window design tool as specified in Table 6.5 and illustrated in Table 6.6.

TABLE 6.5 UPPER FLOOR WINDOW DESIGN REQUIREMENTS

The following table outlines the window design requirement.

		Select a minimum of one upper floor window design alternative	
<p>a. Window Inset: The window pane is inset a minimum of 3 in. behind the surface of the wall.</p>		<p>T4 T5</p>	
<p>b. Window Frame: Each window opening is framed with trim that is a minimum of 1 in. depth and 2 in. width.</p>		<p>T4 T5</p>	
<p>c. Window Sill: Each window opening is defined by a sill, which extends a minimum of 2 in. from the wall surface, with a height of 3 in. and runs a minimum width equal to each window.</p>		<p>T4 T5</p>	
<p>d. Traditional Vertical Proportions: The window is proportioned similar to that of traditional buildings, with a height to width ratio of between 1.75:1 and 2.5:1. Traditionally proportioned windows may be "ganged" to create larger fenestration areas where the dividers between the windows have a depth of at least 2" and project at least 2" in front of the surface of the glass.</p>		<p>T4 T5</p>	
<p>e. True Divided Lights: Windows shall use true muntins.</p>		<p>T4 T5</p>	

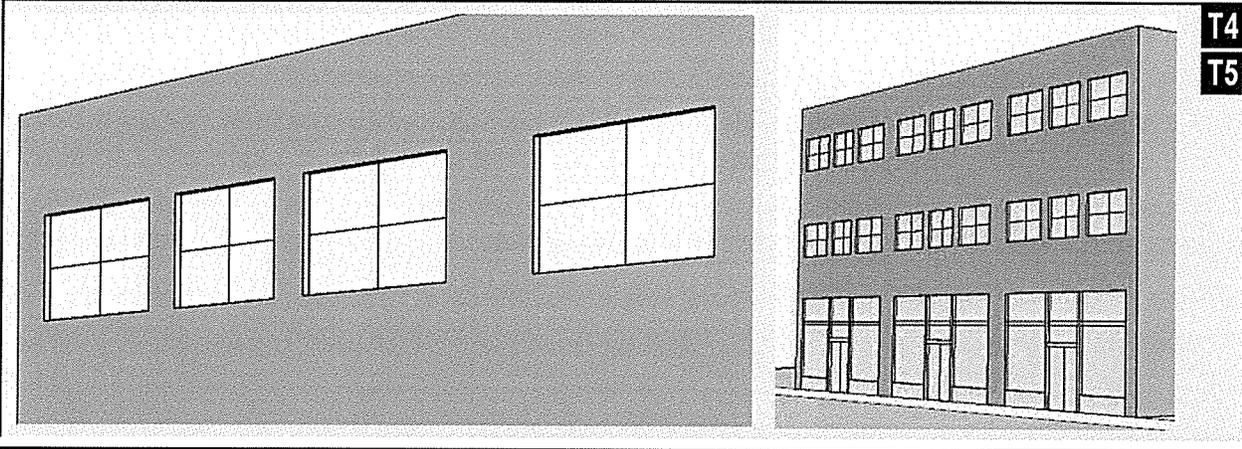
ARTICLE 6. BUILDING DESIGN

San Marcos, Texas

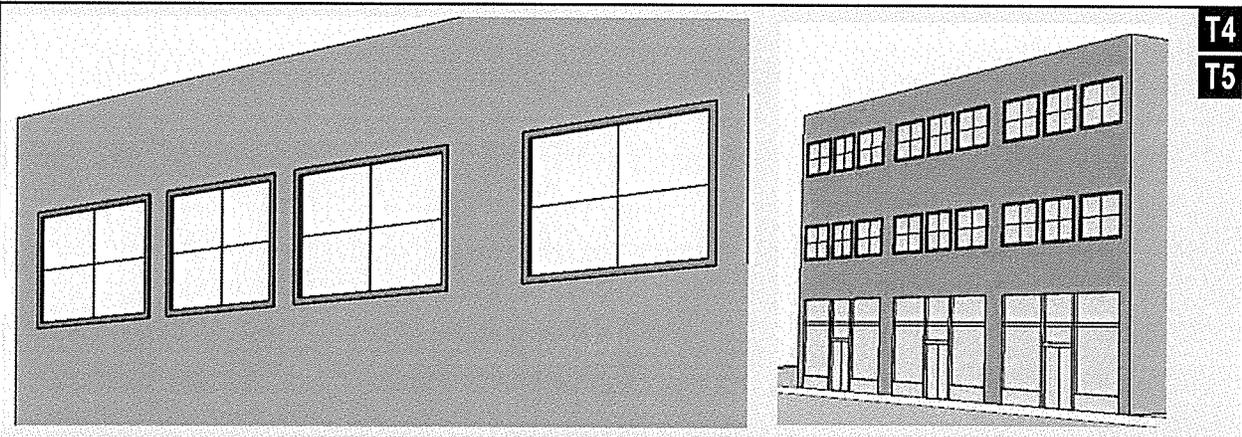
TABLE 6.6 UPPER FLOOR WINDOW DESIGN TOOLS

The following table illustrates the alternative window design tools.

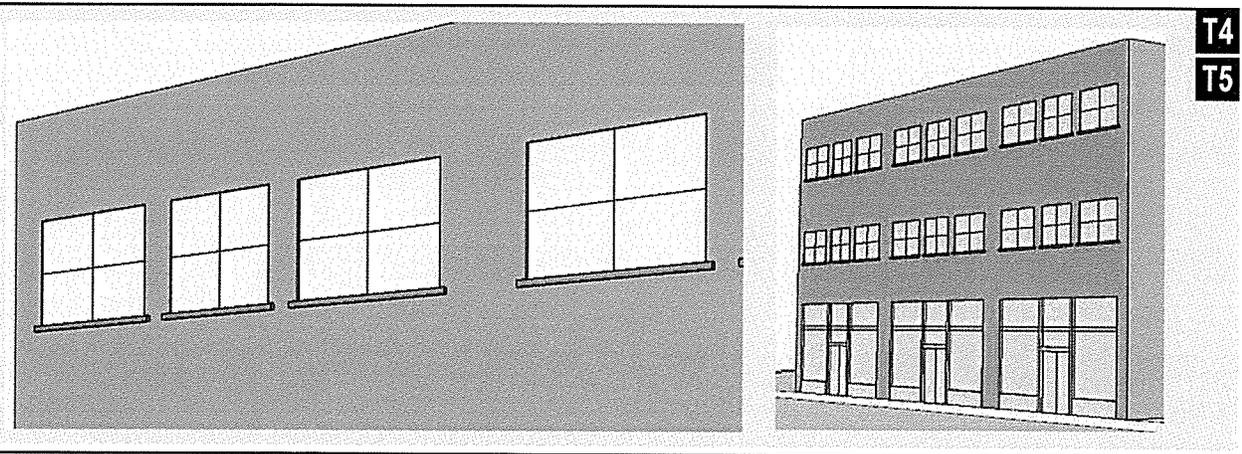
a. **Window Inset:** The window pane shall be inset a minimum of 3 in. behind the surface of the wall.



b. **Window Frame:** Each window opening shall be framed with trim that is a minimum dimension of 1 in. depth and 2 in. width.



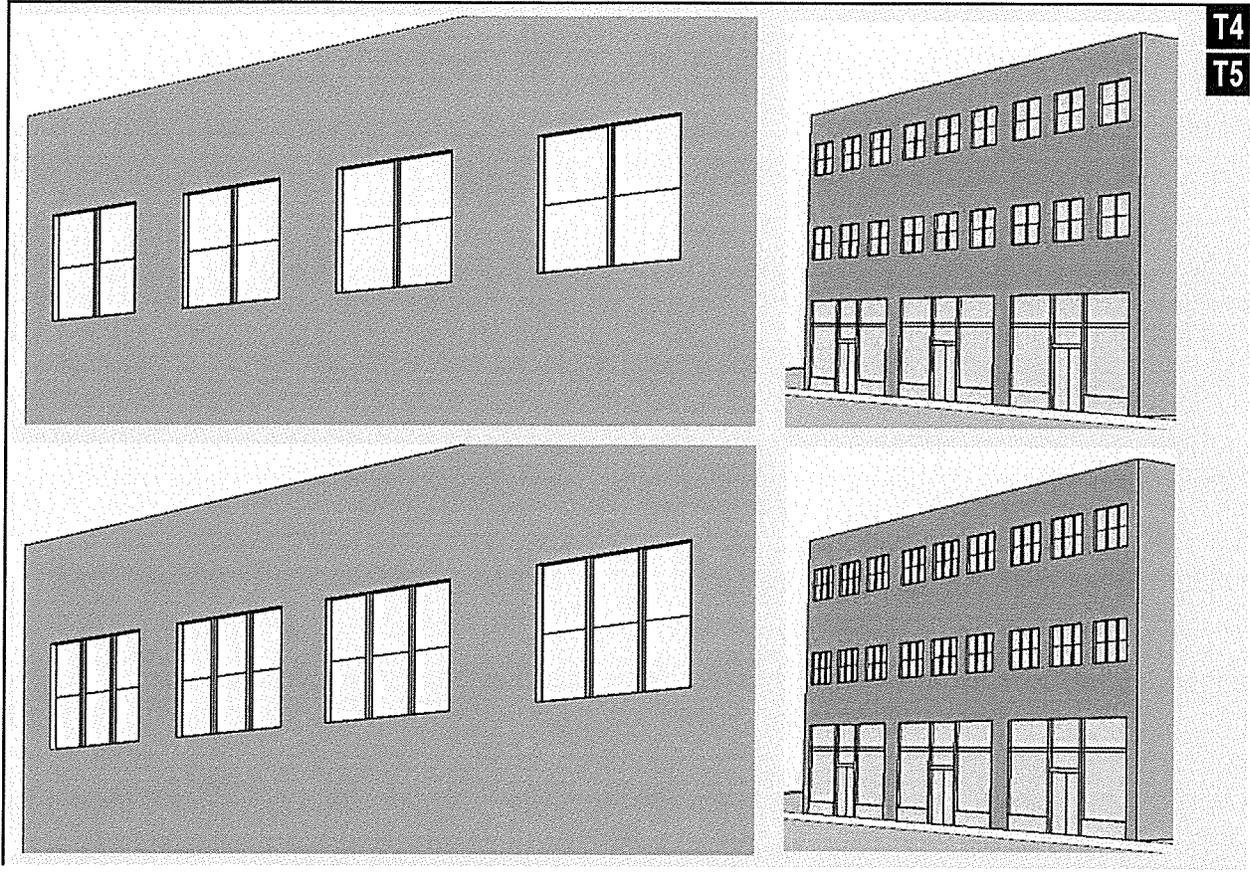
c. **Window Sill:** Each window opening shall be defined by a sill, which extends a minimum of 2 in. from the wall surface, with a height of 3 in. and a minimum width equal to that of each window.



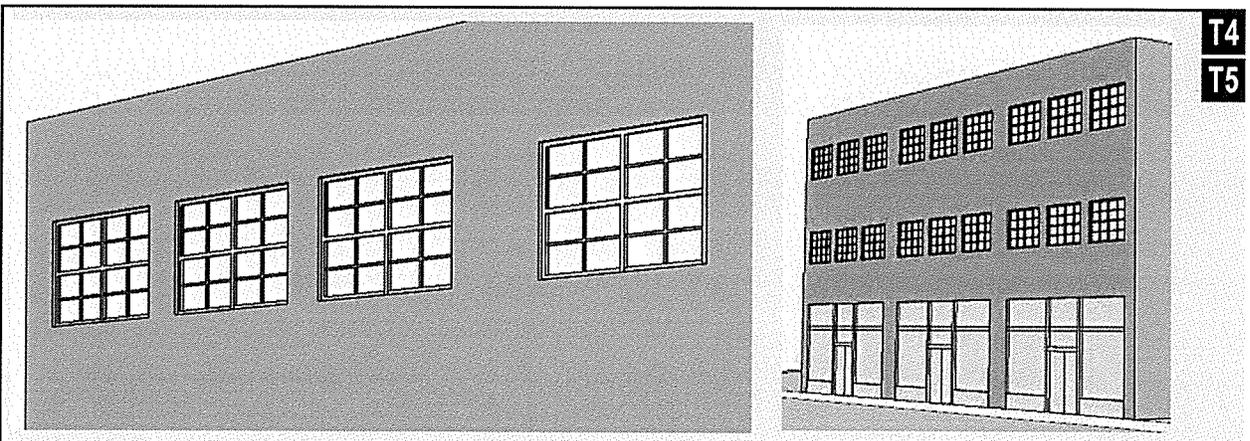
ARTICLE 6. DOWNTOWN BUILDING DESIGN

San Marcos, Texas

d. **Traditional Proportions:** The window shall have a height to width ratio of between 1.75:1 and 2.5:1. Traditionally proportioned windows may be "ganged" to create larger fenestration areas where the dividers between the windows have a depth of at least 2 in. and project at least 2 in. in front of the surface of the glass.



e. **True Divided Lights:** Windows shall use true muntins.



ARTICLE 6. BUILDING DESIGN

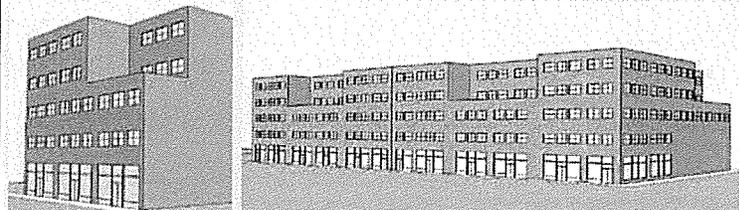
6.5. VARIED UPPER FLOOR MASSING REQUIREMENT

- 6.5.1. Buildings over three stories in height with a frontage of 60 feet or greater shall provide variety in the upper floor massing. Select one alternative as specified below and in Table 6.7.
 - a. A minimum of 40% of the building facade over three stories in height shall be set back a minimum of 20 feet from the front building wall, or
 - b. A minimum of 50% of the building facade over three stories in height shall be set back a minimum of 15 feet from the front building wall.
- 6.5.2. The Development Review Committee may administratively approve exceptions to the upper floor massing requirement provided they meet the criteria established in the Downtown Design Guidelines.

TABLE 6.7 VARIED UPPER FLOOR MASSING ALTERNATIVES

This table illustrates the varied upper floor massing alternatives.

Select one alternative

Varied Upper Floor Massing Alternatives		
<p>a. A minimum of 40% of the building facade over three stories in height shall be set back a minimum of 20 ft. from the front building wall.</p>		<p>T4 T5</p>
<p>b. A minimum of 50% of the building facade over three stories in height shall be set back a minimum of 15 ft. from the front building wall.</p>		<p>T4 T5</p>

ARTICLE 7. SIGN STANDARDS

7.1. INSTRUCTIONS

7.1.1. Applicability

- a. Lots, buildings, and signs governed by this Code shall be subject to the requirements of this Article, except as otherwise provided under this code.
- b. Sign permits shall be required as prescribed in Section 1.9.5.1 of the Land Development Code.
- c. Wayfinding signs, such as those that direct vehicles to parking areas, are not subject to this Article.

7.1.2. Deviations

- a. For lots, buildings and signs located within Zones T4 and T5, deviations from the requirements of this Article may be approved administratively by the DRC subject to the criteria and standards established in the Downtown Design Guidelines. All other deviations may be approved by the DRC only as specifically provided in this Code.
- b. Should the DRC deny a request for a deviation under this Article or if a deviation from the DRC is not available for the specific request, the applicant may apply for a Warrant from the Planning and Zoning Commission consistent with the procedures for a Warrant in Section 1.5.2.

7.2. IN GENERAL

7.2.1. GENERAL TO ZONES T3, T4, T5

- a. There shall be no signage permitted additional to that specified in this section.
- b. The address number, no more than 6 inches measured vertically, shall be attached to the building in proximity to the Principal Entrance or at a mailbox.
- c. Shopfront window signage may be up to 30% of the window area and may be neon or LED lit.

7.2.2. SPECIFIC TO ZONES T2, T3

- a. One projecting sign for each business may be permanently installed perpendicular to the Facade within the first Layer. Such a sign shall not exceed a total of 4 square feet and shall clear 8 feet above the sidewalk.

7.2.3. SPECIFIC TO ZONES T4, T5

- a. Basic sign types permitted include awning or canopy signs, projecting signs, hanging signs, sandwich boards, and wall signs.
- b. Special Sign Types permitted include directory signs, monument signs, and pole signs.

7.2.4. ILLUMINATION

a. SPECIFIC TO ZONES T2, T3

- i. Signage shall not be illuminated.

b. SPECIFIC TO ZONES T4, T5

- i. Signage shall be externally illuminated, except as follows:
- ii. Signage within the Shopfront glazing may be neon or LED lit.
- iii. Neon, halo or diffused internal illumination may be considered with

approval of the DRC provided it meets the criteria established in the Downtown Design Guidelines.

7.2.5. DIRECTORY SIGNS

a. GENERAL TO ALL ZONES T4, T5

- i. One directory sign is permitted at each street-level entrance to upper-floor businesses and on facades facing entrances to alleys, rear lanes and parking lots.
- ii. The area of a directory sign shall not exceed 6 square feet.
- iii. The sign shall be no taller than 3 feet.

7.3. BASIC SIGN TYPES

7.3.1. GENERAL TO ALL BASIC SIGN TYPES

- a. 3 of the 5 basic sign types may be used per building facade.

7.3.2. AWNING OR CANOPY SIGN

a. GENERAL TO ALL ZONES T4, T5

- i. One awning or canopy sign is permitted per business.
- ii. The sign may be placed on either the vertical valance flap, the sloped portion, or on a side panel of the awning or canopy.
- iii. The sign shall not extend below or above the awning or canopy to which it is attached.

b. SPECIFIC TO ZONE T4

- i. An awning or canopy sign shall not exceed 2 feet in height.
- ii. An awning or canopy sign shall not exceed 10 feet in length.

c. SPECIFIC TO ZONE T5

- i. An awning or canopy sign shall not exceed 3 feet in height.
- ii. An awning or canopy sign shall not exceed 12 feet in length.

7.3.3. PROJECTING SIGN

a. GENERAL TO ALL ZONES T4, T5

- i. One projecting sign is permitted per business.
- ii. Sign area shall not exceed 6 square feet for each projecting sign.
- iii. A projecting sign must maintain a minimum 8 foot clearance above the sidewalk or finished ground surface below the sign.
- iv. A projecting sign may be attached to the building facade.
- v. A projecting sign may not extend above the roof of the structure to which it is attached.

7.3.4. HANGING SIGN

a. GENERAL TO ALL ZONES T4, T5

- i. One hanging sign is permitted per business.
- ii. A hanging sign must maintain a minimum 8 foot clearance above the sidewalk or finished ground surface below the sign.
- iii. Sign area shall not exceed 6 square feet for each hanging sign.

ARTICLE 7. SIGN STANDARDS

San Marcos, Texas

7.3.5. SANDWICH BOARD SIGN

a. GENERAL TO ALL ZONES T4, T5

- i. One sandwich board sign is permitted per business.
- ii. The area of each face of a sandwich board shall not exceed 12 square feet.
- iii. The overall sign shall be no taller than 4 feet.
- iv. A sandwich board within the public right-of-way must be placed such that at least an 8 foot unobstructed sidewalk width remains.
- v. Sandwich boards shall be designed to allow folding.
- vi. A sandwich board must have a stable base.
- vii. Sandwich boards shall be removed at the close of business each day.

7.3.6. WALL SIGN

a. GENERAL TO ALL ZONES T4, T5

- i. One wall sign is permitted per business.
- ii. A wall sign may be attached flat to the wall.

b. SPECIFIC TO ZONE T4

- i. A Wall Sign shall not exceed 2 feet in height.
- ii. A Wall Sign shall not exceed 10 feet in length.

c. SPECIFIC TO ZONE T5

- i. A Wall Sign shall not exceed 3 feet in height.
- ii. A Wall Sign shall not exceed 12 feet in length.

7.4. SPECIAL SIGN TYPES

7.4.1. GENERAL TO ALL SPECIAL SIGN TYPES

- a. Where permitted, either one monument sign or one pole sign may be used per property.
- b. **GENERAL TO ALL ZONES T4, T5**
 - i. Monument or pole signs are permitted only on S. L B J Dr. and S. Guadalupe St. between E. Grove St. and I-35 Frontage St.
 - ii. The Development Review Committee may administratively approve a monument or pole sign in other areas provided it meets the criteria established in the Downtown Design Guidelines.
 - iii. A monument or pole sign shall be located within the first Layer.

7.4.2. Monument Signs

a. GENERAL TO ALL ZONES T4, T5

- i. Monument signs shall incorporate a supporting base that is at least 75 percent of the width of the sign face at its widest point. The supporting base shall be constructed of brick, stone, masonry or scored concrete.

b. SPECIFIC TO ZONE T4

- i. Sign area shall not exceed 12 square feet.
- ii. Sign height shall not exceed 4 feet.

c. SPECIFIC TO ZONE T5

- i. Sign area shall not exceed 18 square feet.
- ii. Sign height shall not exceed 6 feet.

7.4.3. Pole Sign

a. SPECIFIC TO ZONE T4

- i. Sign area shall not exceed 12 square feet.
- ii. Sign height shall not exceed 6 feet.

b. SPECIFIC TO ZONE T5

- i. Sign area shall not exceed 18 square feet.
- ii. Sign height shall not exceed 10 feet.

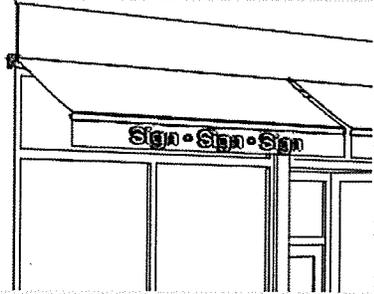
ARTICLE 7. SIGN STANDARDS

San Marcos, Texas

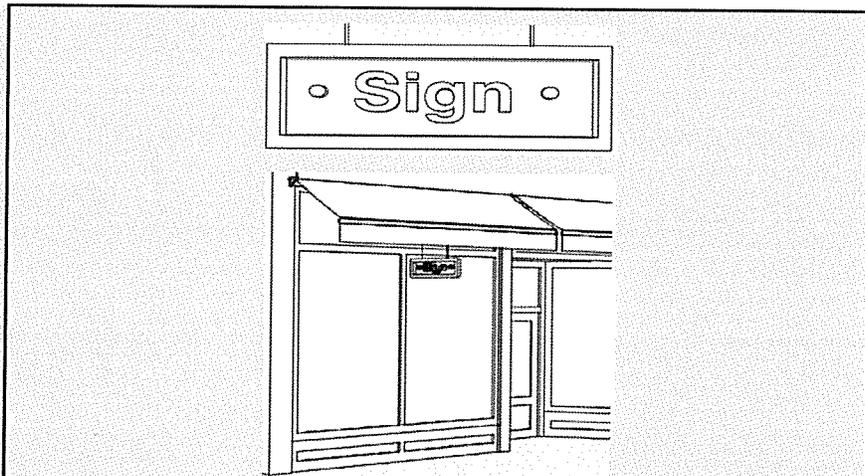
TABLE 7.1 SIGN TYPES

This table illustrates both the basic and special sign types permitted.

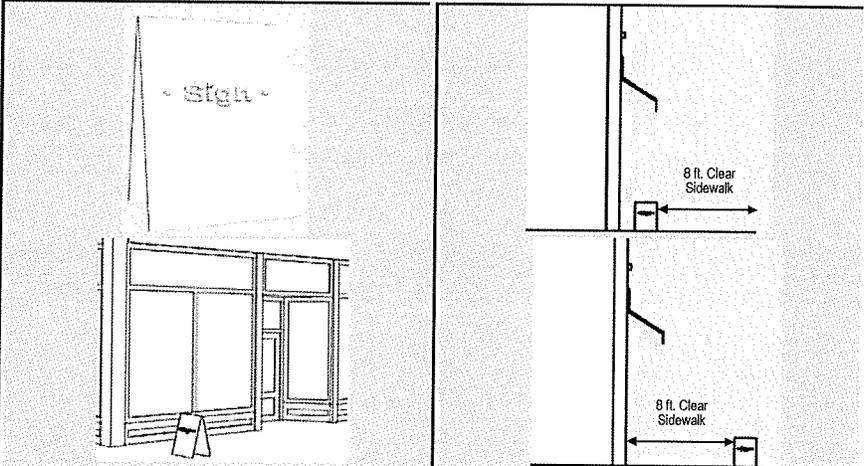
Basic Sign Types

<p>Awning or Canopy Sign: A sign painted on or attached flat or flush against the surface of an awning or canopy.</p>	 A line drawing of a building facade featuring a flat awning over a set of glass doors. The words "Sign • Sign • Sign" are printed horizontally across the front edge of the awning.
<p>Projecting Sign: A sign that is attached directly to the building wall and which extends out from the face of the wall.</p>	 A line drawing of a building corner with several windows. On the left wall, a vertical sign with the word "SIGN" is attached to the wall. On the right wall, another vertical sign with the word "SIGN" is attached to the wall. A third vertical sign with the word "SIGN" is shown to the left of the building, supported by two brackets, representing a sign that projects from the wall.

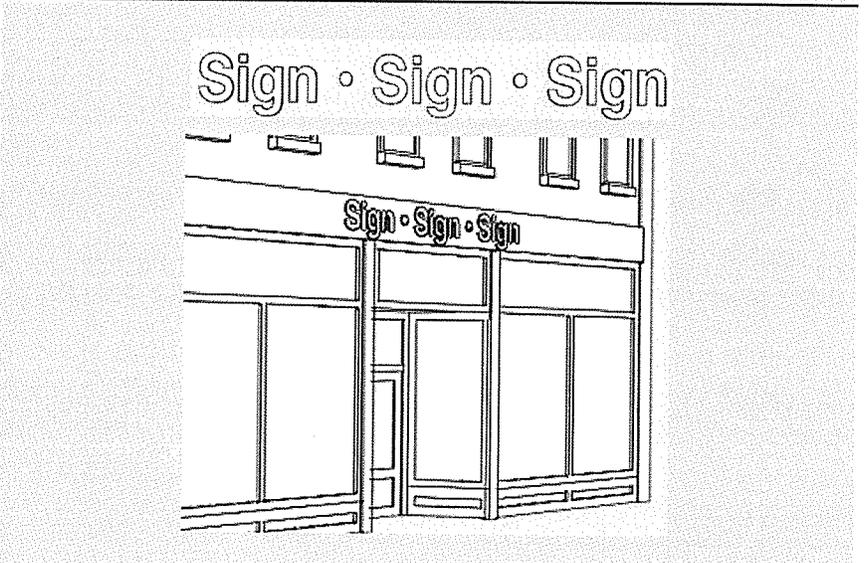
Hanging Sign: A sign that is hanging or suspended (such as by chains or hooks) below a canopy, awning, or building overhang.



Sandwich Board: A portable sign designed in an A-frame or other fashion, and having back-to-back sign faces.



Wall Sign: A sign that is engraved, painted on or attached directly to and flush with the building wall.



Special Sign Types

ARTICLE 6- 8. DEFINITIONS OF TERMS

This Article provides definitions for terms in this Code that are technical in nature or that otherwise may not reflect a common usage of the term. If a term is not defined in this Article, then the DRC shall determine the correct definition. Items in italics refer to *Articles, Sections, or Tables* in the SmartCode.

A-Grid: cumulatively, those Thoroughfares that by virtue of their pre-existing pedestrian-supportive qualities, or their future importance to pedestrian connectivity, are held to the highest standards prescribed by this Code. See **B-Grid**. (Syn: primary grid.)

Access Lane: an outer vehicular lane or lanes of a Thoroughfare, designed for slow speeds and separated from inner lanes that carry higher speed traffic.

Accessory Building: an Outbuilding with an Accessory Unit.

Accessory Unit: an Apartment not greater than 500 square feet sharing ownership and utility connections with a Principal Building; it may or may not be within an Outbuilding. See *Table 5.7 and Table 6.1*. (Syn: ancillary unit)

Adjusted Pedestrian Shed: a Pedestrian Shed that has been adjusted according to *Section 3.2*, creating the regulatory boundary of a Community Unit.

Affordable Housing: dwellings consisting of rental or for-sale units that have a rent (including utilities) or mortgage payment typically no more than 30% of the income of families earning no more than 80% of median incomes by family size for the county. (Alt. definition: rental or for-sale dwellings that are economically within the means of the starting salary of a local elementary school teacher.)

Allée: a regularly spaced and aligned row of trees usually planted along a Thoroughfare or Path.

Apartment: a Residential unit sharing a building and a Lot with other units and/or uses; may be for rent, or for sale as a condominium.

Attic: the interior part of a building contained within a pitched roof structure.

Avenue (AV): a Thoroughfare of high vehicular capacity and low to moderate speed, acting as a short distance connector between urban centers, and usually equipped with a landscaped median.

B-Grid: cumulatively, those Thoroughfares that by virtue of their use, location, or absence of pre-existing pedestrian-supportive qualities, may meet a standard lower than that of the A-Grid. See **A-Grid**. (Syn: secondary grid.)

BRT: see Bus Rapid Transit.

Backbuilding: a single-Story structure connecting a Principal Building to an Outbuilding. See *Table 6.1*.

Base Residential Density: the number of dwelling units per acre. See **Density**.

Bed and Breakfast: an owner-occupied Lodging type offering 1 to 5 bedrooms, permitted to serve breakfast in the mornings to guests.

Bicycle Lane (BL): a dedicated lane for cycling within a moderate-speed

a neighborhood.

Common Yard: a planted Private Frontage wherein the Facade is set back from the Frontage line. It is visually continuous with adjacent yards. See *Table 5.3*.

Community Garden: A grouping of garden plots available for small-scale cultivation, generally to residents without private gardens. See *Table 3.4*.

Community Plan Area: an area marked on a land use map activating the use of this Code.

Community Unit: a regulatory category defining the physical form, Density, and extent of a settlement. The four Community Unit types addressed in this Code are CLD, TND, RCD and TOD. The TOD Community Unit type is created by an overlay on TND or RCD. The only RCD in San Marcos is the Downtown.

Configuration: the form of a building, based on its massing, Private Frontage, and height.

Corridor: a lineal geographic system incorporating transportation and/or Greenway trajectories. A transportation Corridor may be a lineal Transect Zone.

Cottage: an Edgeyard building type. A single-family dwelling, on a regular Lot, often shared with an Accessory Building in the back yard.

Courtyard Building: a building that occupies the boundaries of its Lot while internally defining one or more private patios. See *Table 5.1*.

Curb: the edge of the vehicular pavement that may be raised or flush to a Swale. It usually incorporates the drainage system. See *Table 3.2 and Table 3.3*.

Density: the number of dwelling units within a standard measure of land area.

Developable Areas: lands other than those in the O-1 Preserved Open Division.

Development Review Committee (DRC): A part of Development Services, a DRC is comprised of a representative from each of the various regulatory agencies that have jurisdiction over the permitting of a project. See *Article 1.4.3*.

Disposition: the placement of a building on its Lot. See *Table 5.1 and Table 6.1*.

Division: a neutral term for a geographic area. In the SmartCode there are five specific Divisions for regional planning that establish the legal boundaries for Open Space and development.

Dooryard: a Private Frontage type with a shallow Setback and front garden or patio, usually with a low wall at the Frontage Line. See *Table 5.3*. (Variant: Lightwell, light court.)

Downtown Design Guidelines: A supplement to the SmartCode standards to provide advisory information to better understand the intent of the design standards, to aid in the design review for the "administrative

approval" process when alternatives are applied for, and to aid in the design review for the "by warrant" process when alternatives are applied for.

Drive (DR): a Thoroughfare along the boundary between an Urbanized and a natural condition, usually along a waterfront, Park, or promontory. One side has the urban character of a Thoroughfare, with Sidewalk and building, while the other has the qualities of a Road or parkway, with naturalistic planting and rural details.

Driveway: a vehicular lane within a Lot, often leading to a garage. See *Section 5.10*.

Edgeward Building: a building that occupies the center of its Lot with Setbacks on all sides. See *Table 5.1*.

Effective Parking: the amount of parking required for Mixed Use after adjustment by the Parking Occupancy Rate. See *Table 5.6*.

Effective Turning Radius: the measurement of the inside Turning Radius taking parked cars into account. See *Table 6.1*.

Elevation: an exterior wall of a building not along a Frontage Line. See *Table 6.1*. See: **Facade**.

Encroach: to break the plane of a vertical or horizontal regulatory limit with a structural element, so that it extends into a Setback, into the Public Frontage, or above a height limit.

Encroachment: any structural element that breaks the plane of a vertical or horizontal regulatory limit, extending into a Setback, into the Public Frontage, or above a height limit.

Enfront: to place an element along a Frontage, as in "porches Enfront the street."

Estate House: an Edgeward building type. A single-family dwelling on a very large Lot of rural character, often shared by one or more Accessory Buildings. (Syn: country house, villa)

Expression Line: a line prescribed at a certain level of a building for the major part of the width of a Facade, expressed by a variation in material or by a limited projection such as a molding or balcony. See *Table 5.2*. (Syn: transition line.)

Facade: the exterior wall of a building that is set along a Frontage Line. See **Elevation**.

Forecourt: a Private Frontage wherein a portion of the Facade is close to the Frontage Line and the central portion is set back. See *Table 5.3*.

Frontage: the area between a building Facade and the vehicular lanes, inclusive of its built and planted components. Frontage is divided into Private Frontage and Public Frontage. See *Table 3.2* and *Table 5.3*.

Frontage Buildout: the percentage of the Lot width that is occupied by the building Facade.

Frontage Line: a Lot line bordering a Public Frontage. Facades facing Front-

ARTICLE 6 8. DEFINITIONS OF TERMS

San Marcos, Texas

Frontage Line. See *Table 3.2* and *Table 6.1*.

Rear Alley (RA): a vehicular way located to the rear of Lots providing access to service areas, parking, and Outbuildings and containing utility easements. Rear Alleys should be paved from building face to building face, with drainage by inverted crown at the center or with roll Curbs at the edges.

Rear Lane (RL): a vehicular way located to the rear of Lots providing access to service areas, parking, and Outbuildings and containing utility easements. Rear Lanes may be paved lightly to Driveway standards. The streetscape consists of gravel or landscaped edges, has no raised Curb, and is drained by percolation.

Rearyard Building: a building that occupies the full Frontage Line, leaving the rear of the Lot as the sole yard. See *Table 5.1*. (Var: Rowhouse, Townhouse, Apartment House)

Regional Center Development: a Community type structured by a long pedestrian shed or linear shed, which may be adjoined without buffers by one or several standard pedestrian sheds, each with the individual Transect Zone requirements of a TND.

Regulating Plan: a Zoning Map or set of maps that shows the Transect Zones, Civic Zones, Special Districts if any, and Special Requirements if any, of areas subject to, or potentially subject to, regulation by the SmartCode.

Residential: characterizing premises available for long-term human dwelling.

Retail: characterizing premises available for the sale of merchandise and food service. See *Table 5.4* and *Table 5.7*.

Retail Frontage: Frontage designated on a Regulating Plan that requires or recommends the provision of a Shopfront, encouraging the ground level to be available for Retail use. See **Special Requirements**.

Road (RD): a local, rural and suburban Thoroughfare of low-to-moderate vehicular speed and capacity. This type is allocated to the more rural Transect Zones (T1-T3). See *Table 3.3*.

Rowhouse: a single-family dwelling that shares a party wall with another of the same type and occupies the full Frontage Line. See Rearyard Building. (Syn: Townhouse)

Rural Boundary Line: the extent of potential urban growth as determined by existing geographical determinants. The Rural Boundary Line is permanent.

Secondary Frontage: on corner Lots, the Private Frontage that is not the Principal Frontage. As it affects the public realm, its First Layer is regulated. See *Table 6.1*.

Sensitive Site: The site of a Building of Value or a single-family zoned district.

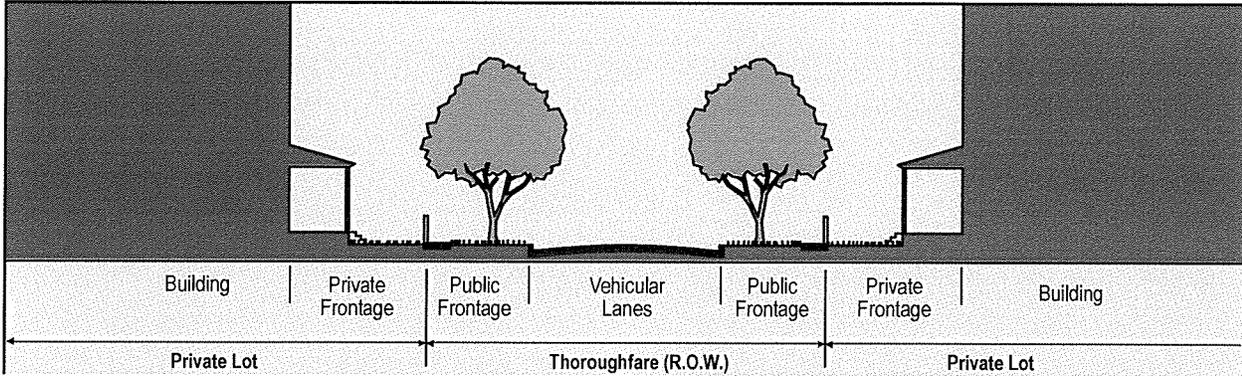
Setback: the area of a Lot measured from the Lot line to a building Facade or Elevation that is maintained clear of permanent structures, with the exception of Encroachments listed in *Section 5.7*. See *Table 1.2g/h* and *Table 1.3g/h*. (Var: build-to-line.)

ARTICLE 6 8. DEFINITIONS OF TERMS

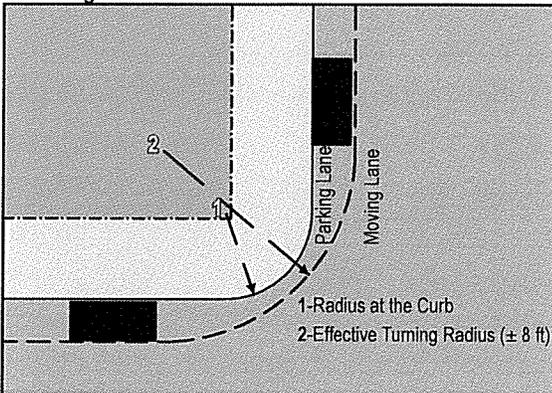
San Marcos, Texas

TABLE 6-4. 8.1 DEFINITIONS ILLUSTRATED

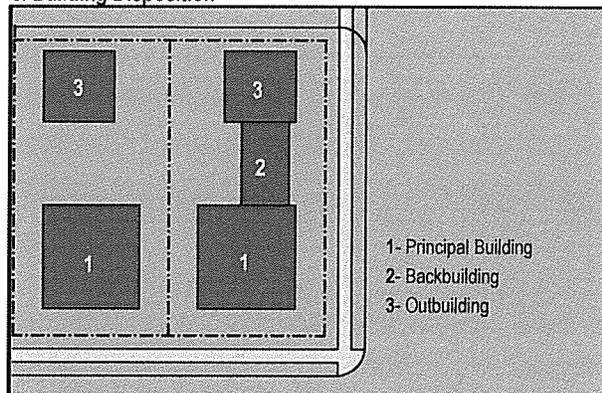
a. Thoroughfare and Frontages



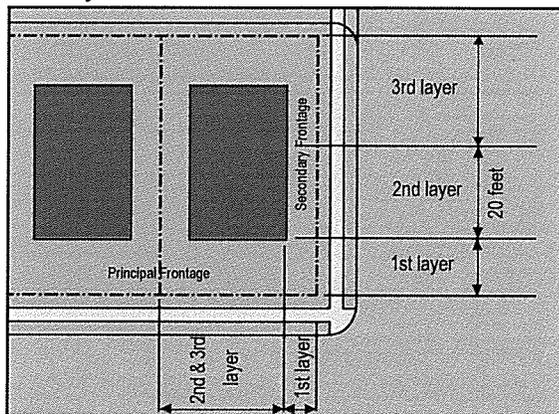
b. Turning Radius



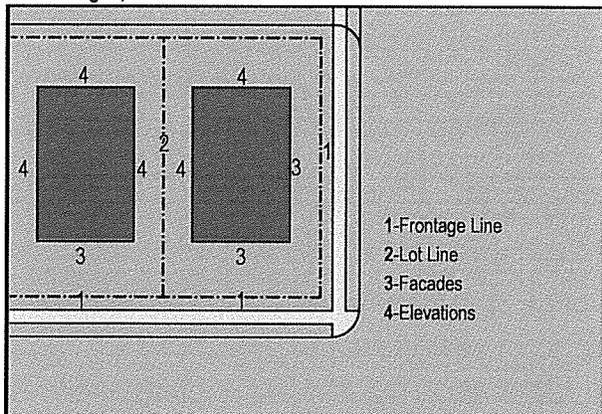
c. Building Disposition



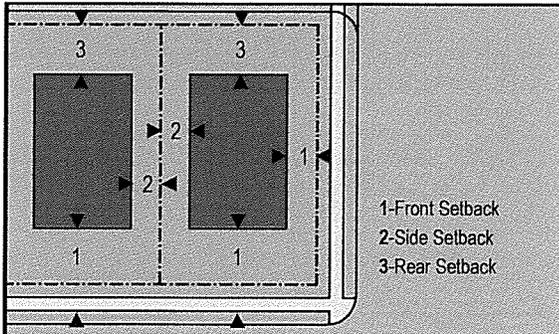
d. Lot Layers



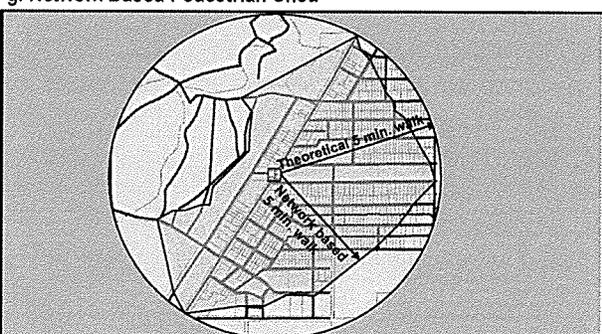
e. Frontages, Lot lines & Elevations



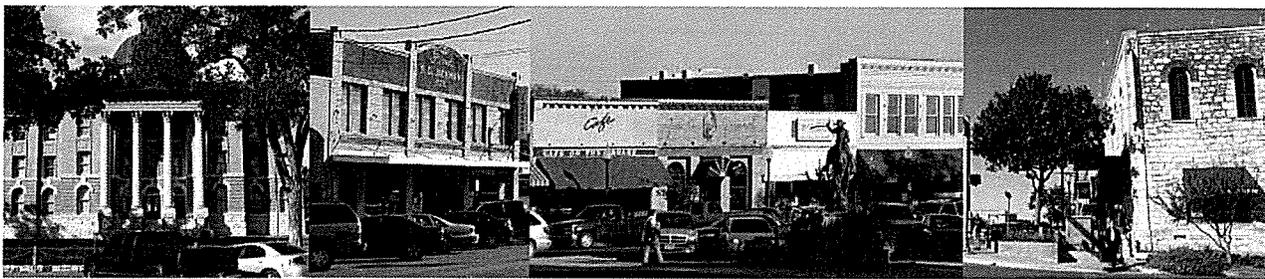
f. Setbacks



g. Network Based Pedestrian Shed



Downtown Design Guidelines



San Marcos, TX
August 22, 2012

Introduction

The regulations in the SmartCode establish the basic requirements for building mass and scale throughout the downtown (see Design Context Map on page 5 for downtown boundary). These design guidelines supplement the SmartCode standards in the following ways:

- As advisory information for those who wish to better understand the intent of the design standards in the downtown SmartCode.
- As part of design review for the “administrative approval” process when alternatives are applied for.
- As part of design review for the “by warrant” process when alternatives are applied for.

About the Design Guidelines

The guidelines within this document focus on allowing for flexibility in design while also protecting the character of downtown and enhancing its pedestrian-friendly atmosphere. The guidelines and the review process through which they are administered seek to maintain downtown as a cohesive, livable place. Maintaining an attractive pedestrian-oriented environment is a fundamental concept. In addition, the guidelines serve as educational and planning tools for property owners and their design professionals who seek to make improvements downtown.

The design guidelines also provide a basis for making consistent decisions about the appropriateness of improvement projects requesting alternative strategies through the City’s design review process. This includes both Administrative Review by the Development Review Committee as well as Planning and Zoning Board review through the Warrant process. The Design Standards in the SmartCode and the City’s adopted Building Codes have been codified to meet the intent of the Design Guidelines. Projects that meet those standards and are not requesting exceptions shall be judged to have met the Downtown Design Guidelines.

Section 1: Design Principles for Downtown San Marcos

General Principles for New Development

This section sets forth fundamental principles for improvements in the downtown. These principles are broad in nature, focusing on qualitative aspects of design. Each improvement project in downtown should help forward the goals outlined in the Introduction and should also comply with these fundamental design principles:

1. Honor the heritage of the city

Buildings, sites and components of urban infrastructure that have historic significance should be preserved and considered as design inspiration for new work downtown. This does not mean copying earlier styles, but rather learning from them. New work around these resources should be compatible with them.

2. Celebrate Courthouse Square

As the major focal point of downtown, Courthouse Square should be valued in all urban design. This applies to properties in close proximity to the square, but also relates to improvements that may link other places to it, in terms of views, pedestrian circulation and building orientation.

3. Design to fit with the context

Improvement projects should consider their context. In some areas, that context remains strongly anchored by historic buildings. In other parts of downtown, the context is more contemporary, with individual historic buildings sometimes appearing as accents. In still other areas, no historic structures exist. In this respect, "designing in context" means helping to achieve the long term goals for each of these areas.

4. Achieve excellence in design

Each improvement in downtown should express excellence in design, and it should raise the bar for others to follow. This includes using high quality materials and construction methods and paying attention to details.

5. Design with authenticity

Downtown is defined by buildings and places that reflect their own time, including distinct construction techniques as well as style. The result is a sense of authenticity in building and materials. All new improvements should convey this sense of authenticity.

6. Design with consistency

Buildings and places in downtown that are highly valued are those which have a cohesive quality in their use of materials, organization of functions and overall design concept. Each new project should also embody a single, consistent design concept.

7. Design for durability

Downtown's cherished buildings and spaces are designed for the long term with durable materials. New work should have this same quality.

8. Design for sustainability

Aspects of cultural, economic and environmental sustainability that relate to urban design and compatibility should be woven into new developments and improvements.

9. Enhance the public realm

At the heart of downtown is an enhanced public realm, including streets, sidewalks and open spaces. Sidewalks and other pedestrian ways should be designed to invite their use through thoughtful planning and design. Improvement on private property also should enhance the public realm.

10. Enhance the pedestrian experience

Each improvement project should contribute to a pedestrian-friendly environment. This includes defining street edges with buildings and spaces that are visually interesting and attract pedestrian activity. Buildings that convey a sense of human scale and streetscapes that invite walking are keys to successful design in downtown. Providing sidewalks of sufficient width for circulation and outdoor activities, and installing appropriate landscape and streetscape elements is also important.

Section 2: Design Contexts

This section includes goal statements for each of the design contexts within downtown. These contexts are areas identified by community workshop participants as having unique character, constraints and/or design goals. Please note the Courthouse Square area is not included, as a separate design review system is in place for the historic district. See the map on the following page for the location of the design contexts.

University Edge

The University Edge context should create a safe, pedestrian-friendly transition between campus and downtown. New campus development in this context should be compatible in scale and respectful of downtown design traditions. In addition, within the University Edge there are key public views up to campus and down to Courthouse Square. New development should preserve and enhance these views.

Downtown

Within the Downtown context it is especially important to maintain compatibility with Courthouse Square. Increased density is appropriate where it does not impact the character of the square.

Residential/Transition Edge

For new development within the Residential/Transition Edge context it is important to minimize impacts from higher scale development on the character of the adjacent residential neighborhoods. New development should provide a transition in scale between the taller buildings in the T5 zone and the existing residential neighborhoods.

Transit Oriented Development

Projects within the Transit Oriented Development context should establish a strong pedestrian orientation. The street front character is especially important here to encourage pedestrian activity.

Approach

The Approach context is the corridor between the highway and downtown, providing an entry procession into the heart of downtown. New development in this area should provide visual interest and not overwhelm the distinct character of the downtown.

Section 3: Design Guidelines

Overarching Guidelines

This section provides general design guidelines for projects throughout all of the design contexts downtown.

Building Scale

A new building should convey a sense of human scale through its design features.

1. Establish a sense of human scale in a building design.

Views

Views from the public right of way to the university and Courthouse Square are important and should be retained. The location of the building on a site, in addition to its scale, height, and massing, can impact views from the adjacent public right of way, including streets, sidewalks, intersections, and public spaces.

2. Minimize the impacts to primary views from the public right of way to the university and Courthouse Square.

Guidelines Specific to the Design Standards

This section provides specific guidelines on topics directly related to the design standards.

Building Height

The variety in building heights that exists in downtown San Marcos helps to define the character of the area. New development should continue the tradition of height variation, expressing and supporting human scale and architectural diversity in the area. New buildings above three stories should set back upper floors to maintain a sense of human scale at the street and minimize impacts to lower scale historic structures downtown. The base code allows five stories in downtown, but additional height may be considered. The following table should be used when analyzing requests for additional height.

3. Provide variation in building height in a large project.
4. Position the taller portion of a structure away from neighboring buildings of lower scale or other sensitive edges.

Height Strategy by Context

Design Context	Goal(s)	Additional Height in First and Second Layer	Additional Height in Third Layer
University Edge	Preserve key public views up the hill to campus.	Alternatives which maintain sufficient public access to key views up the hill may be considered.	Alternatives may be considered where taller structures will provide greater residential opportunities within proximity to campus and key views are sufficiently maintained.
Downtown	Maintain compatibility with Courthouse Square.	Flexibility for building height requirements may be considered where it will not be visible from the square. Overall mass should maintain a sense of human scale and not appear out of character with the Downtown Historic District.	No additional height adjacent to Downtown Historic District. Additional height may be considered where it will not obscure key views.
Residential/ Transition Edge	Minimize impacts from higher scale development on the character of adjacent residential neighborhoods. Provide a transition in scale between the T5 zone and the neighborhoods.	No additional height.	Additional height should only be permitted if it is not visible from the public right of way or the adjacent residential neighborhoods.
Transit Oriented Development	An increased density at and surrounding the future rail stop is desired.	Additional height at the street wall may be appropriate where the building maintains a sense of human scale and a pedestrian-friendly streetscape.	Additional height may be appropriate here where the building maintains a sense of human scale and maintains a pedestrian-friendly streetscape.
Approach	The intent for the approach area is to provide corridors between the highway and downtown.	Additional height may be appropriate where it does not directly impact residential neighborhoods. The building should maintain a sense of human scale and a pedestrian-friendly streetscape.	Additional height may be appropriate where it does not directly impact residential neighborhoods. The building should maintain a sense of human scale and a pedestrian-friendly streetscape.

Building Mass and Articulation

Traditional development patterns create a rhythm along the street by the repetition of similar building widths and vertical proportions. Variations in massing and building articulation should be expressed throughout a new structure, resulting in a composition of building modules that relate to the scale of traditional buildings.

5. Provide horizontal expression at lower floor heights to establish a sense of scale.
6. Provide vertical articulation in a larger building mass to establish a sense of scale.
7. Maintain established development patterns created by the repetition of similar building widths along the street.
8. Design floor to floor heights to establish a sense of scale and reflect San Marcos traditions.

Canopies and Awnings

Canopies and awnings are noteworthy features on many buildings in the downtown, and their continued use is encouraged. Traditionally, these features were simple in detail, and reflected the character of the building to which they were attached.

9. An awning or canopy should be in character with the building and streetscape.

Window Design

The manner in which windows are used to articulate a building wall is an important consideration in establishing a sense of scale and visual continuity. In traditional commercial buildings, a storefront system was installed on the ground floor and upper story windows most often appeared as punched openings. Window design and placement should help to establish a sense of scale and provide pedestrian interest.

10. Provide a high level of ground floor transparency on a building in an area traditionally defined by commercial storefronts.
11. The use of a contemporary storefront design is encouraged in commercial settings.
12. Arrange windows to reflect the traditional rhythm and general alignment of windows in the area.

Section 4: Sign Guidelines

Overarching Sign Guidelines

This section provides general design guidelines for signs throughout the downtown. Balancing the functional requirements for signs with the objectives for the overall character of the downtown is a key sign design consideration. In downtown, a sign is seen as serving two functions: first, to attract attention; and second, to convey information, essentially identifying the business or services offered. Orderly sign location and design should be applied to make fewer and smaller signs more effective. If a sign is mounted on a building with a well-designed facade, the building front alone can serve much of the attention-getting function. The sign can then focus on conveying information in a well-conceived manner. Similarly, for a free-standing sign, landscaping and other site amenities can help to give identity to the businesses located on the site. In this respect, each sign should be considered with the overall composition of the building and the site in mind. Signs should be in scale with their structure and integrated with surrounding buildings.

13. Consider a sign in the context of the overall building and site design.
14. Design a sign to be in scale with its setting.
15. Design a sign to highlight architectural features of the building.
16. Design a sign to convey visual interest to pedestrians.
17. Avoid damaging or obscuring architectural details or features when installing signs on historic structures.

Guidelines Specific to the Sign Standards

This section provides specific sign guidelines on topics directly related to the sign standards.

Historic Signs

Historic signs contribute to the character of downtown. They also have individual value, apart from the buildings to which they are attached. Historic signs of all types should be retained and restored whenever possible. This is especially important when they are a significant part of a building's history or design.

18. Consider history, context and design when determining whether to retain a historic sign.

Sign Character

A sign should be in character with the materials, colors and details of the building and its site. The integration of an attached sign with the building or building facade is important and should be a key factor in its design and installation. Signs also should be visually interesting and clearly legible. Signs that appear to be custom-designed and fabricated, and that convey visual interest in the urban setting are preferred. Those that are scaled to the pedestrian are especially encouraged. A sign should also reflect the overall context of the building and surrounding area.

19. A sign should be subordinate to the overall building composition.
20. Use sign materials that are compatible with the architectural character and materials of the building.
21. A sign should not obscure character-defining features of a building.

Sign Lighting

Illumination should occur in a manner that keeps it subordinate to the overall building and its site as well as the neighborhood, while accomplishing the functional needs of the business. Minimize surface glare and manage light spill such that glare is not created on adjoining properties.

22. Where allowed, an external light source should be shielded to direct the light and minimize glare.
23. Neon, halo and internal, diffused illumination may be considered if located at the street level and designed to be in character with, and subordinate to the building facade.

Specific Sign Types

This section includes guidelines for the specific sign types allowed in the sign standards.

Awning and Canopy Signs

An awning or canopy sign is flat against the surface of the awning or canopy material.

24. Use an awning or canopy sign in areas with high pedestrian use.
25. Use an awning or canopy sign when other sign types would obscure architectural details.

Projecting Sign

A projecting sign is attached perpendicular to the wall of a building or structure.

26. Design a bracket for a blade sign to complement the sign composition.
27. Locate a blade sign to relate to the building facade and entries.

Sandwich Board

A sandwich board is a portable sign designed in an A-frame or other fashion, and having back-to-back sign faces.

28. Locate a sandwich board to maintain a clear circulation path on the sidewalk.
29. Design the sandwich board to be durable and have a stable base.

Wall Sign

A wall sign is any sign attached parallel to, but within 18 inches of a wall of a building including individual letters, cabinet signs, or signs painted on the surface of a wall.

30. Place a wall sign to be flat against the building facade.
31. Place wall signs to integrate with and not obscure building details and elements.

Directory Sign

A tenant panel or directory sign displays the tenant name and location for a building containing multiple tenants.

32. Use a directory sign to consolidate small individual signs on a larger building.
33. Locate a directory sign at the street level entrance to upper floor businesses or on facades facing entrances to alleys, rear lanes and parking lots for business wayfinding purposes.

Pole and Monument Signs

A monument sign is a sign that is erected on a solid base placed directly on the ground and constructed of a solid material. A pole mounted sign is generally mounted on one or two simple poles.

34. A pole or monument sign may be considered where it has been used traditionally and the building or activity is set back from the street or public right-of-way.
35. A pole or monument sign may be considered on a historic property or within a historic district when it is demonstrated that no other option is appropriate.
36. Design a pole or monument sign to be in character and proportion with its structure and site.
37. Design a monument sign to incorporate a sturdy supporting base that is at least 75% of the width of the sign face at its widest point. Appropriate base materials include, but are not limited to brick, stone, masonry and concrete.

Appendix A: The Intent of the Standards

The following section provides intent statements for each of the tools, or set of tools, used in the standards. These statements should be used in determining compatibility of alternative designs with the intent of the standards.

1. Contextual Height Step Down Requirement

To provide a compatible sense of scale along sensitive edges in the downtown by using lower building heights for areas of a property adjacent to a Sensitive Site.

2. Expression Requirements

Traditionally, buildings in downtown San Marcos have an established sense of scale and proportion and express a visual rhythm and pedestrian interest at the street front. This should be continued in new projects. Vertical and horizontal articulation should express a sense of human scale and provide visual interest on a principal frontage.

Expression Requirements: Vertical Expression

Vertical articulation techniques should provide interest in design and human scale. The purpose of these articulations is to ensure that the front of a new structure has a variety of offsets, surface relief, and insets to reflect a more traditional rhythm and scale at the street front.

Expression Requirements: Horizontal Articulation

The objective of horizontal articulation tools is to create a sense of human scale, facade depth and visual interest on a building facade.

3. Window Design Requirements

A key feature of traditional buildings in downtown San Marcos is that window openings are clearly defined, either by a substantial inset behind the wall surface or by framing elements and sills. Window definition should add a sense of depth to the facade and contribute to a sense of human scale and visual interest.

4. Varied Upper Floor Massing Requirement

Buildings in downtown San Marcos are typically three stories or less in height. In most cases a range of building heights occur across a single block face. As the desired density increase is incorporated, it is important that new, taller structures not dominate the street front. Taller buildings should vary upper floor massing to provide variety in building height as perceived from the street and to maintain a sense of pedestrian scale at the sidewalk.

Appendix B: Examples of Design Principles Applied

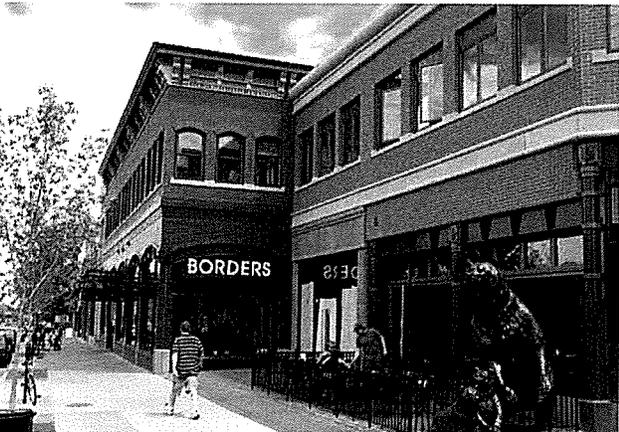
The following photographs provide examples of improvements that illustrate how some of the design guidelines may apply in downtown San Marcos. Some specific design features are identified in the captions. Note that, in some cases, while a specific design feature is described as being an appropriate example, the overall building shown may not meet all of the city's other design standards and guidelines.



Vertical Expression:
 • Vertical expression lines
 Horizontal Expression:
 • Cornice



Vertical Expression:
 • Vertical expression lines
 Horizontal Expression:
 • Canopy



Vertical expression:
 • Wall Offset
 Horizontal expression:
 • Horizontal expression line



• Stepped down and varied massing
 Vertical Expression:
 • Wall Offset



Vertical Expression:

- Wall notch

Horizontal Expression:

- Horizontal expression line



Vertical Expression:

- Wall notch

Horizontal Expression:

- Varied parapet



Vertical Expression:

- Wall Offset

Horizontal expression:

- Horizontal expression line/materials change
- Varied parapet height



Vertical Expression:

- Wall Offset

Horizontal expression:

- Moldings
- Cornice



- Varied upper floor massing

Horizontal Expression:

- Change in materials
- Varied parapet



- Stepped down and varied massing

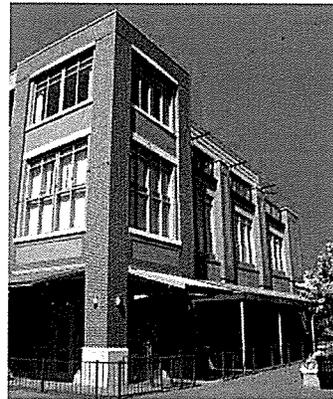
Vertical Expression:

- Change in materials



Vertical Expression:
 • Change in materials

Horizontal Expression:
 • Moldings
 • Cornice



• Varied upper floor massing

Horizontal Expression:
 • Varied parapet
 • Canopies and awnings



Horizontal Expression:
 • Balconies



Vertical Expression:
 • Wall Offset

Window Design:
 • Vertical window proportions



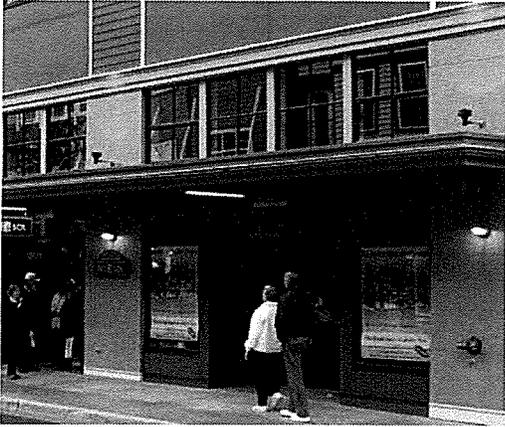
• Step down in height adjacent to historic building

Horizontal Expression:
 • Cornice



Vertical Expression:
 • Wall notch

Horizontal Expression:
 • Change in materials

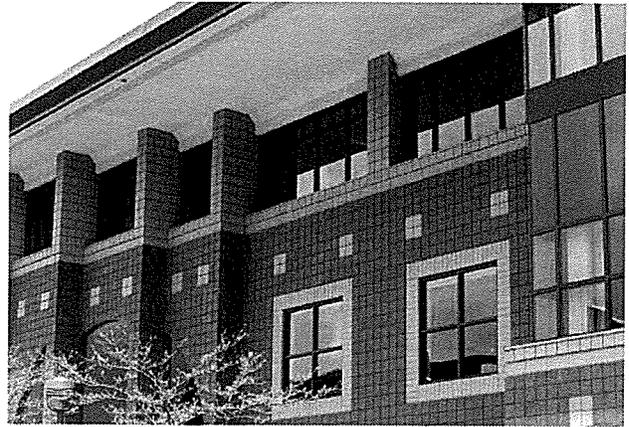


Horizontal Expression:

- Canopy
- Moldings

Window Design:

- True divided lights
- Vertical proportions (in pairs)

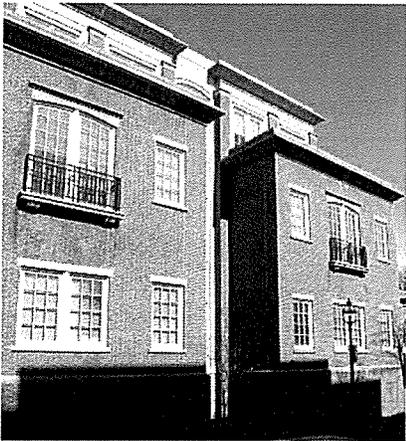


Window Design:

- Frame
- Vertical proportions (in sets of 2 and 4)

Horizontal Expression:

- Cornice
- Molding



- Varied upper floor massing

Vertical Expression:

- Wall notch

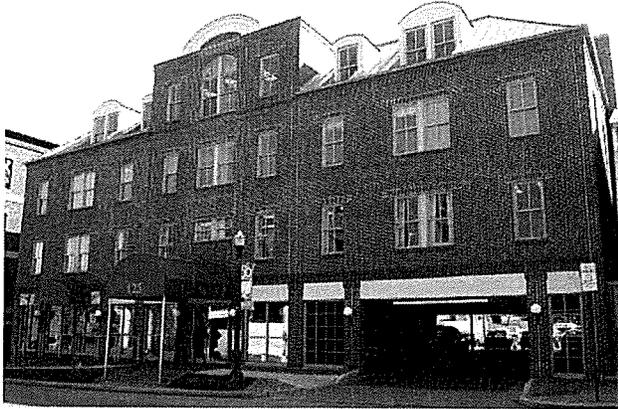
Horizontal Expression:

- Cornice



Vertical Expression:

- Wall offsets



- Varied parapet line

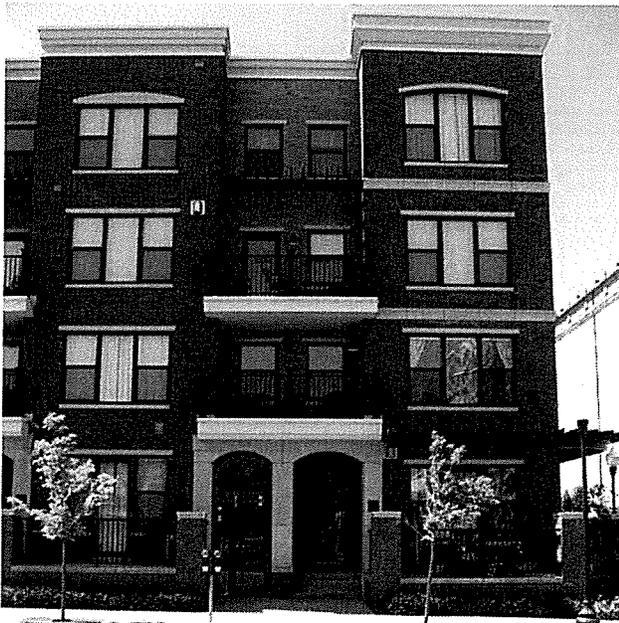
Window Design:

- Vertical proportions (in pairs)
- True divided lights



Window Design:

- Sills
- True divided lights
- Window inset



Vertical Expression:

- Wall notch
- Change in materials

Horizontal Expression:

- Cornices
- Balconies

Window Design:

- Vertical proportions (in sets of three)



Vertical Expression:

- Wall notch

Horizontal Expression:

- Awnings at first floor
- Window moldings at second floor
- Cornice

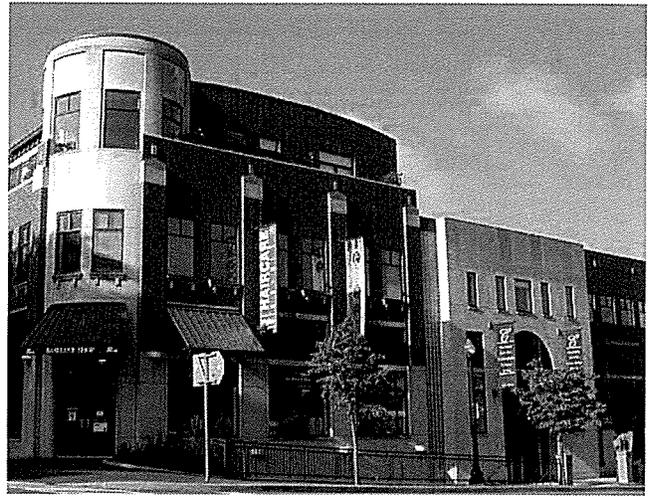


Horizontal Expression:

- Awning & canopies

Window Design:

- Sills
- Vertical proportions



- Varied parapet line

Vertical Expression:

- Change in materials
- Vertical expression line (pilasters)



Vertical Expression:

- Vertical expression line (pilasters or attached columns)

Horizontal Expression:

- Cornice
- Change in materials (first and upper floors)



Horizontal Expression:

- Change in materials (at first floor)
- Cornice

Window Design:

- Vertical proportions



- Varied upper floor massing

Horizontal Expression:

- Cornice
- Change in materials (upper floor)

Window Design:

- Inset
- Sills
- True divided lights



- Varied upper floor heights

Horizontal Expression:

- Change in materials



Horizontal Expression:

- Cornice

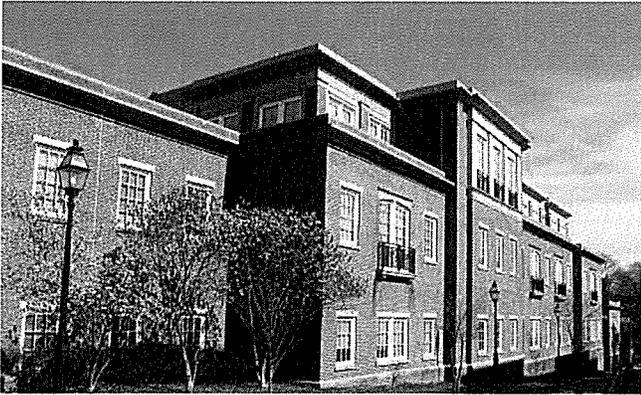
Window Design:

- Sills
- Inset



Horizontal Expression:

- Cornice
- Second floor expression line



- Varied upper floor massing

Vertical Expression:

- Wall offset

Horizontal Expression:

- Cornices



Vertical Expression:

- Wall notches

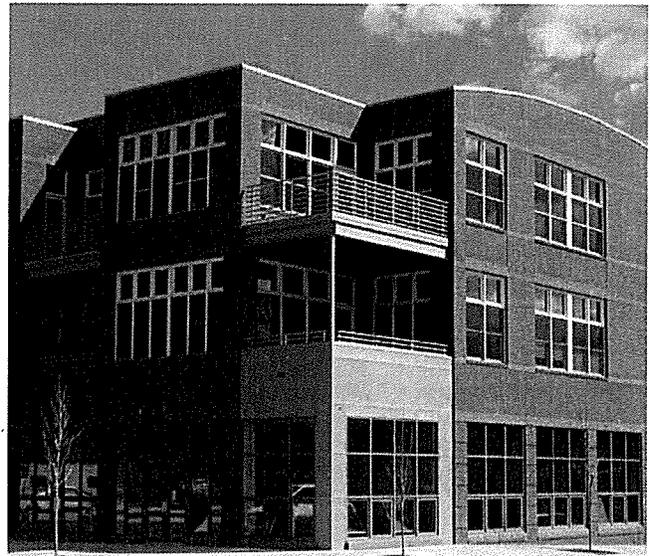
Horizontal Expression:

- Change in materials at first floor
- Cornices



Horizontal Expression:

- Awnings



- Varied upper floor heights

Vertical Expression:

- Wall offsets
- Cornice



Window Design:

- Inset
- Sills



Window Design:

- Inset
- Sills



Vertical Expression:

- Wall notches
- Change in materials

Horizontal Expression:

- Cornices
- Change in materials

Appendix C: Public Lighting Standard Details

[DRAFT]

**STREET AND
PEDESTRIAN
LIGHTING
STANDARDS
AND
SPECIFICATIONS**

CITY OF SAN MARCOS, TEXAS



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LIGHTING GUIDELINES AND POLICIES

These guidelines and policies are applicable within the city limits of San Marcos. All light fixtures on standard and alternative street and pedestrian lighting shall be the light emitting diode (LED) type.

For standard cobra head assemblies:

Cobra head type lights are approved for use in smart code transect T1 and as approved in special districts (SD) and in non-smart code areas. Design and construction plans are the responsibility of the developer. Light location and spacing shall be as specified in the City of San Marcos Land Development Code and shall meet the American Association of State Highway and Transportation Officials (AASHTO) standards.

Plans shall be reviewed and approved for construction by the City of San Marcos prior to construction permitting.

The developer shall furnish and install all conduit, junction boxes, foundations, poles, arms, and wiring to the light fixture(s). San Marcos Electric Utility (SMEU) will furnish the fixture(s). A cost recovery fee, set at the purchase price paid by SMEU shall be paid for each LED fixture. Within the SMEU service area, SMEU will install the fixture(s). Outside the SMEU service area, the developer shall install the fixture(s).

SMEU will become the owner of the pole, mast arm, fixture, conduit, and wiring (entire lighting assembly) upon acceptance of the improvement. Manufacturers' warranties for all materials in the assembly shall be transferrable to the City of San Marcos.

For all lighting other than standard cobra head assemblies:

Design and construction plans are the responsibility of the developer. Spacing and height of the poles and LED fixture configuration will be determined by the developer's photometric study to meet the requirements of foot candle coverage listed within the AASHTO manual.

Plans shall be reviewed and approved for construction by the City of San Marcos prior to construction permitting.

The developer shall furnish and install all conduit, junction boxes, foundations, poles, arms, wiring, and the light fixture(s).

SMEU will become the owner of the entire lighting assembly upon acceptance of the improvement. Manufacturers' warranties for all materials in the assembly shall be transferrable to the City of San Marcos.

Q

From City of San Marcos Land Development Code

Chapter 7, Public Facilities Standards, Article 4, Roads, Sidewalks and Alleys, Division 1, General Standards, Section 7.4.1.4, Specific Street Standards, subsection (u):

(u) *Streetlights*. Streetlights shall be installed by the developer at all intersections and at the ends of cui-de-sacs, and shall have no greater distance than 400 feet between them within or abutting the subdivision. Street Lighting inside the City Limits shall be installed and suitable to accept power by the developer or property owner of new residential, commercial, or industrial developments at all intersections and at the end of cut-de-sacs, and shall have no greater distance than 400 feet between the fixtures within or abutting the subdivision. Poles shall be located a minimum of two feet behind existing or planned curbs or sidewalks on public rights-of-way. Street lighting structures shall comply with the *City of San Marcos Electric Utilities Underground Installation Specifications*. Street lights shall be fully shielded in such a manner that light emitted by the fixture, either from the lamp or indirectly from the luminaire, is projected below a horizontal plane running through the lowest point on the fixture where light is emitted. All street light installations shall be in accordance with the National Electrical Code and National Electrical Safety Code, and shall also conform to City laws, codes and specifications governing such work. Alternative standards for street lighting installations will be considered by the Electric Utility Division of the City of San Marcos Public Services Department on a case by case basis. All street lights shall be connected by the serving utility, to the permanent power supply and function properly prior to final acceptance. Service to locations where City electric utility facilities are not available will be made at the discretion of the Electric Utility Division of the City of San Marcos Public Services Department and at an additional charge, subject to existing tariffs, to the developer or property owner to cover the costs of installation and maintenance, including appropriate overheads, additional poles, conductors, other facilities and increased maintenance expenses. Applicable state or federal street lighting requirements in conflict with this ordinance supersede this ordinance.

ARTICLE 3. COMMUNITY PLANS

San Marcos, Texas

TABLE 3.6. PUBLIC LIGHTING

Lighting varies in brightness and also in the character of the fixture according to the Transect. LED or similar efficiency is recommended; lighting is required. See Design Guidelines for standard details.

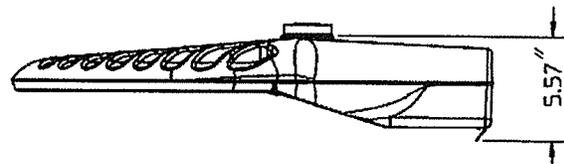
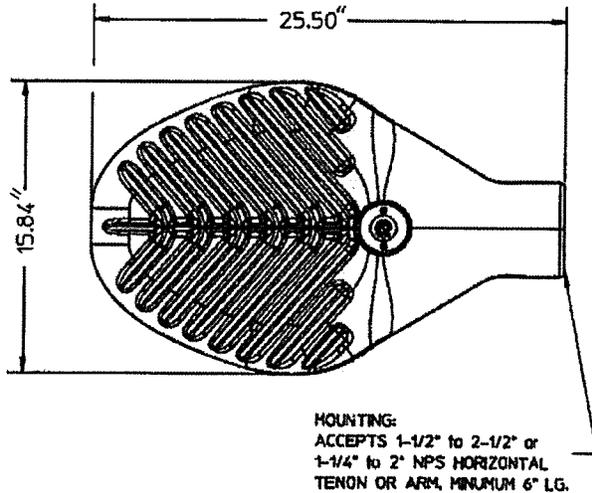
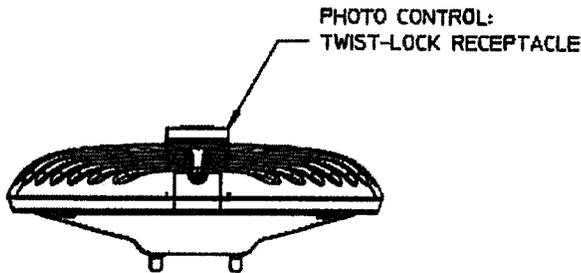
	T1	T2	T3	T4	T5	SD	Specifications
Cobra Head 	•					•	<u>Cobra Head Standard Detail</u> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/>
Pipe 	•	•	•				<u>Post Roadway Standard Detail</u> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/>
Post 		•	•	•			<u>Post Pendant Standard Detail</u> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/>
Column 			•	•	•		<u>Antique Single Standard Detail (required downtown)</u> <u>Modern Single Standard Detail</u> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/>
Double Column 					•		<u>Antique Double Standard Detail (required downtown)</u> <u>Modern Double Standard Detail</u> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/>

DRAFT
SUBJECT TO CHANGE

COBRA HEAD ASSEMBLY

Approved for use in:

- Smart Code Transect TI
- As approved in Smart Code Special Districts (SD)
- Non-Smart Code Areas



SPECIFICATIONS:

1. ALL HOUSING COMPONENTS (HOUSING, LENS FRAME, DOOR) ARE LOW COPPER DIE-CAST ALUMINUM, FLAT TEMPERED GLASS LENS.
2. PHILIPS LUMILEDS REBEL LEDS (40 LEDS), 70 COLOR RENDERING INDEX (CRI), INJECTION MOLDED, ACRYLIC OPTICAL PLATES, IP66 RATED LED ARRAY.
3. PHILIPS ADVANCE XITANIUM LED DIRVER, CLASS 1, OUTDOOR RATED (IP66), >90% POWER FACTOR.
4. OPERATING TEMPERATURE RANGE IS -40°C to +40°C
5. >L70 @ 80,000 hrs @ 25°C (DRIVER 100,000 HRS).
6. <20% THD.
7. MANUFACTURED TO ISO 9001:2000 STANDARDS, RoHS, VIBRATION TESTED TO ANSI C136.31 FOR BRIDGE APPLICATIONS, ETL/CETL LISTED TO UL1598 & UL8750 STANDARDS.
8. MAX EPA: 0.54 SQ FT
9. WEIGHT: 19.5 LBS.
10. EQUIVALENT TO 100 HPS.

PRODUCT DETAILS:

- COLOR: GRAY
- OPTICS: TYPE II
- COLOR TEMPERATURE: 4000K
- VOLTAGE 120-277 VAC
- DRIVE CURRENT: MULTI TAP (350.530.700Ma) 530Ma PULLED
- PHOTO CONTROL: TWIST-LOCK RECEPTACLE
- DIMMING CONTROLS: NONE
- SURGE SUPPRESSION: ADDITIONAL 10Kv BIL
- HOUSE SIDE SHIELD: NONE

ORDERING GUIDE (PHILIPS HADCO): S5995D LUMINAIRE OR APPROVED EQUIVALENT

NOTE:

PARTS OF THE ENTIRE LIGHT ASSEMBLY SHALL BE AS SPECIFIED OR APPROVED EQUIVALENT.

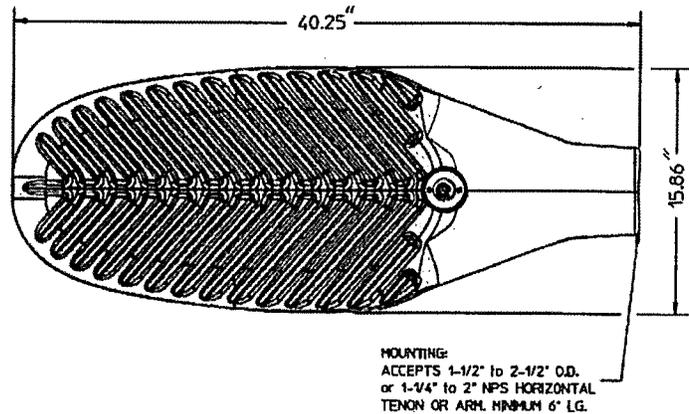
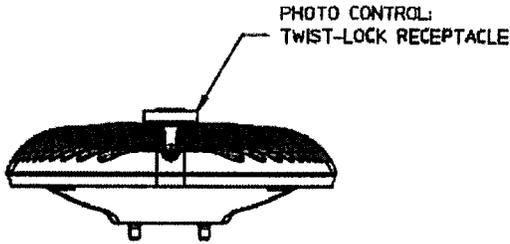
25.5" COBRA HEAD LED LIGHT

The City of San Marcos
Engineering and Capital Improvements

STANDARD DETAILS
N.T.S

DRAWING: T:/DETAILS/25.5 IN COBRA HEAD LIGHT

DATE: APRIL 2012



SPECIFICATIONS:

1. ALL HOUSING COMPONENTS (HOUSING, LENS FRAME, DOOR) ARE LOW COPPER DIE-CAST ALUMINUM, FLAT TEMPERED GLASS LENS.
2. PHILIPS LUMILEDS REBEL LEDS (120 LEDS), 70 COLOR RENDERING INDEX (CRI), INJECTION MOLDED, ACRYLIC OPTICAL PLATES, IP66 RATED LED ARRAY.
3. PHILIPS ADVANCE XITANIUM LED DIRVER, CLASS 1, OUTDOOR RATED (IP66), >90% POWER FACTOR.
4. OPERATING TEMPERATURE RANGE IS -40°C to +40°C.
5. >L70 @ 80,000 hrs @ 25°C (DRIVER 100,000 HRS).
6. <20% THD.
7. MANUFACTURED TO ISO 9001:2000 STANDARDS, RoHS, VIBRATION TESTED TO ANSI C136.31 FOR BRIDGE APPLICATIONS, ETL/CETL LISTED TO UL 1598 & UL8750 STANDARDS.
8. MAX EPA: 0.82 SQ FT.
9. WEIGHT: 32 LBS.
10. EQUIVALENT TO 250 HPS.

PRODUCT DETAILS :

- COLOR: GRAY
 OPTICS: TYPE II
 COLOR TEMPERATURE: 4000K
 VOLTAGE 120-277 VAC
 DRIVE CURRENT: 530Ma
 PHOTO CONTROL: TWIST-LOCK RECEPTACLE
 DIMMING CONTROLS: NONE
 SURGE SUPPRESSION: ADDITIONAL 10Kv BIL
 HOUSE SIDE SHIELD: NONE

ORDERING GUIDE (PHILIPS HADCO): S5995E LUMINAIRE OR APPROVED EQUIVALENT

NOTE:

PARTS OF THE ENTIRE LIGHT ASSEMBLY SHALL BE AS SPECIFIED OR APPROVED EQUIVALENT

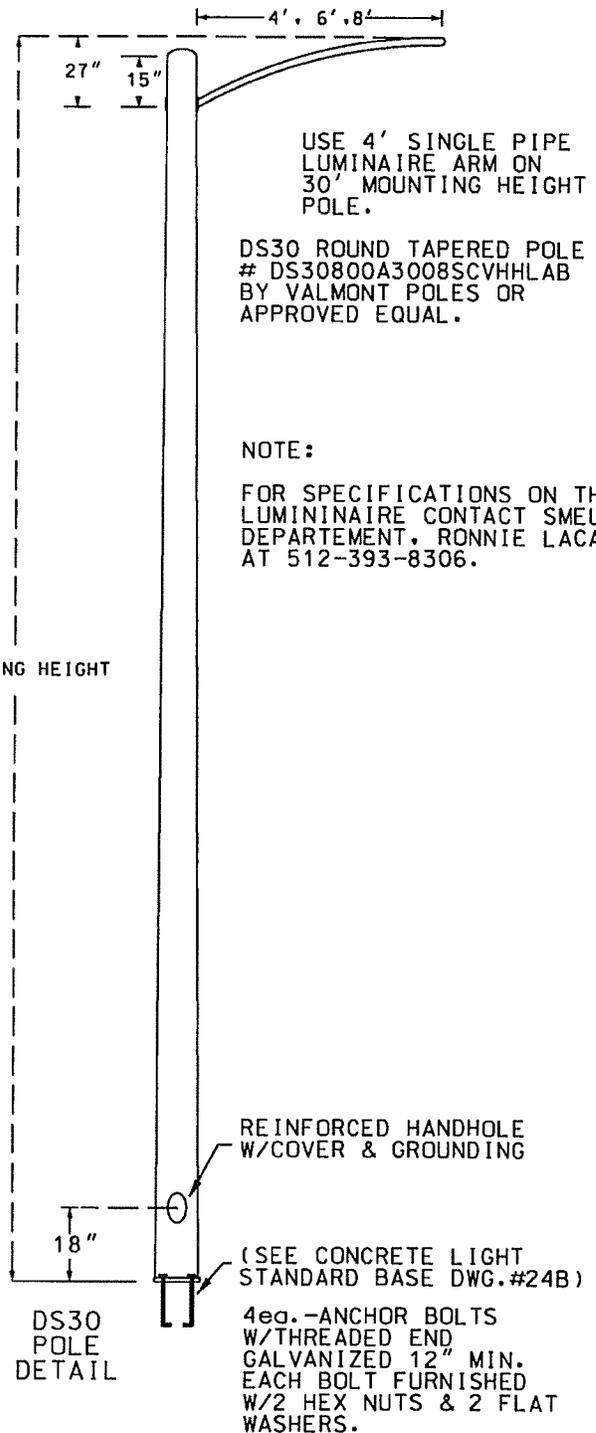
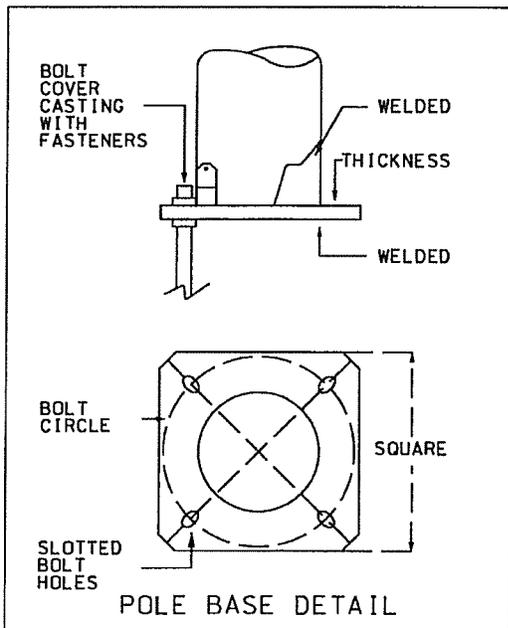
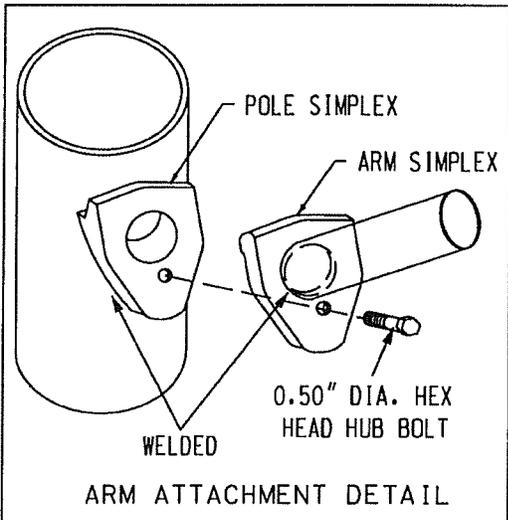
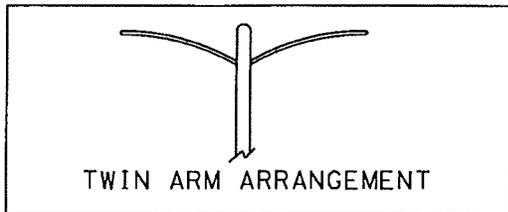
40.25" COBRA HEAD LED LIGHT

The City of San Marcos
Engineering and Capital Improvements

STANDARD DETAILS
N.T.S

DRAWING: T:/DETAILS/40.25 IN COBRA HEAD LIGHT

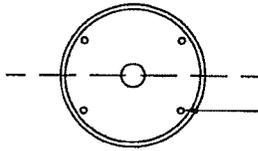
DATE: APRIL 2012



STREET LIGHT ASSEMBLY

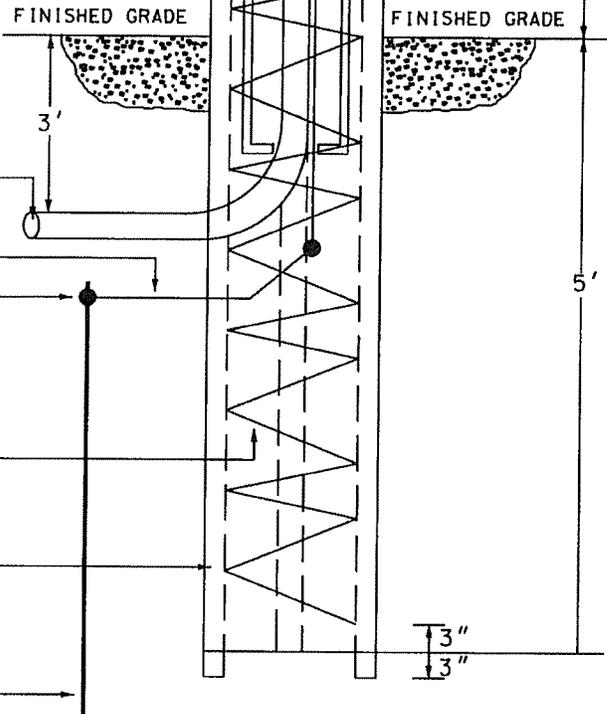
The City of San Marcos
Engineering and Capital Improvements

STANDARD DETAIL
N.T.S.



1" ANCHOR BOLTS TO 40" MIN. BELOW GRADE. ALIGNERS CIRCLE. DIAMETER & BOLT SIZE SHALL BE DETERMINED BY POLE MANUFACTURER. FURNISH & INSTALL BOLT COVERS & DOUBLE NUTS WITH BOLTS.

SMOOTH FINISHED CONCRETE W/ 3/4" CHAMBER EDGE



2" PVC, SCH. 40 CONDUIT

HC-1#6 GRD.

CADWELD CONNECTION

5-#5 BARS W/ 3/8 SPIRAL HOOP, 6" PITCH

3000 PSI CONCRETE

3/4" x 10' COPPER CLAD GRD. ROD, BOND TO POLE BASE USING #65CB COPPER

NOTE:

FILL EXCAVATED AREA BELOW PAD WITH COMPACTED GRANULAR MATERIAL MANUFACTURED FROM CRUSHED STONE OR OTHER GRANULAR MATERIAL APPROVED BY ENGINEER.

STREET LIGHT CONCRETE BASE

The City of San Marcos
Engineering and Capital Improvements

STANDARD DETAIL
N.T.S.

DRAWING: T/DETAILS/STREET LIGHT BASE

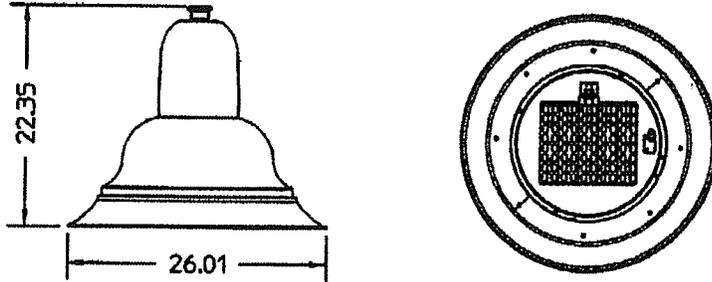
DATE: NOVEMBER 9, 2011

POST ROADWAY ASSEMBLY

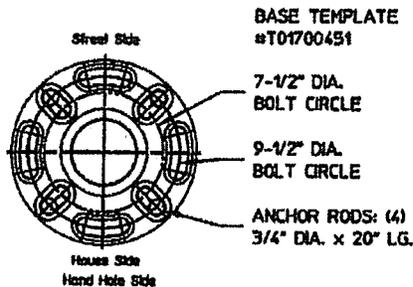
Approved for use in:

- Smart Code Transects T1, T2, T3
- As approved in Smart Code Special Districts (SD)

Luminaire Detail



Base Template Detail



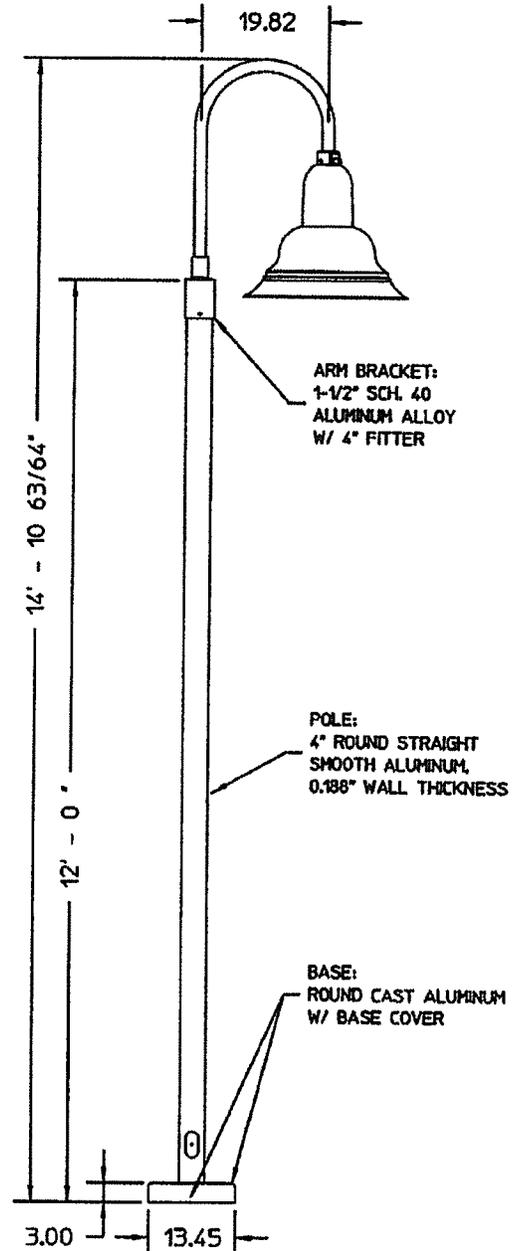
SPECIFICATIONS:

1. 80, 4000K PHILIPS LUMILEDS REBEL LED'S. 70 COLOR RENDERING INDEX (CRI) NOMINAL W/ INJECTION MOLDED ACRYLIC OPTICAL PLATES, 65,000 HRS. AT >L70 LUMEN MAINTENANCE @ 25°C, TYPE III LIGHT DISTRIBUTION
2. PHILIPS ADVANCE XITANIUM CLASS 1, IP66 RATED LED DRIVER. DRIVER OPERATES 120-277 VAC, 50-60 HZ AUTO SENSING, 350MA, DRIVERS ARE ROHS COMPLIANT, ADDITIONAL 10KV SURGE SUPPRESSION.
3. ETL & CETL LISTED TO U.S. & CANADIAN SAFETY STANDARDS FOR WET LOCATIONS, UL8750 & UL1598 COMPLIANT, VIBRATION TESTED TO ANSI C136.31 FOR NORMAL APPLICATIONS, MANUFACTURED TO ISO 9001:2008 STANDARDS.
4. COLOR: BLACK
5. OPTICS: TYPE III
6. COLOR TEMPERATURE: 4000K
7. VOLTAGE: 120-277 VAC
8. SURGE SUPPRESSION: ADDITIONAL 10kV/10kA

NOTE:

PARTS OF THE ENTIRE LIGHT ASSEMBLY SHALL BE AS SPECIFIED OR APPROVED EQUIVALENT

ORDERING GUIDE (PHILIPS HADCO): S5995F LUMINAIRE, SA5995D ARM BRACKET, SP5995B POLE, OR APPROVED EQUIVALENT



POST ROADWAY LIGHT ASSEMBLY

The City of San Marcos
Engineering and Capital Improvements

STANDARD DETAILS
N.T.S.

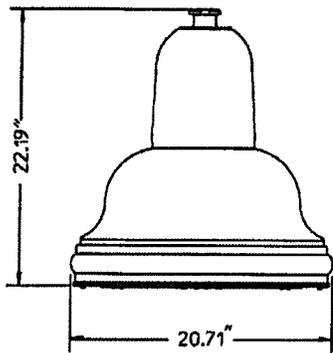
DRAWING:

DATE: AUGUST 2012

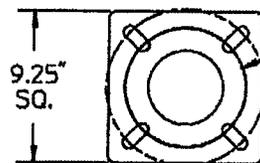
POST PENDANT ASSEMBLY

Approved for use in:

- Smart Code Transects T2, T3, T4
- As approved in Smart Code Special Districts (SD)



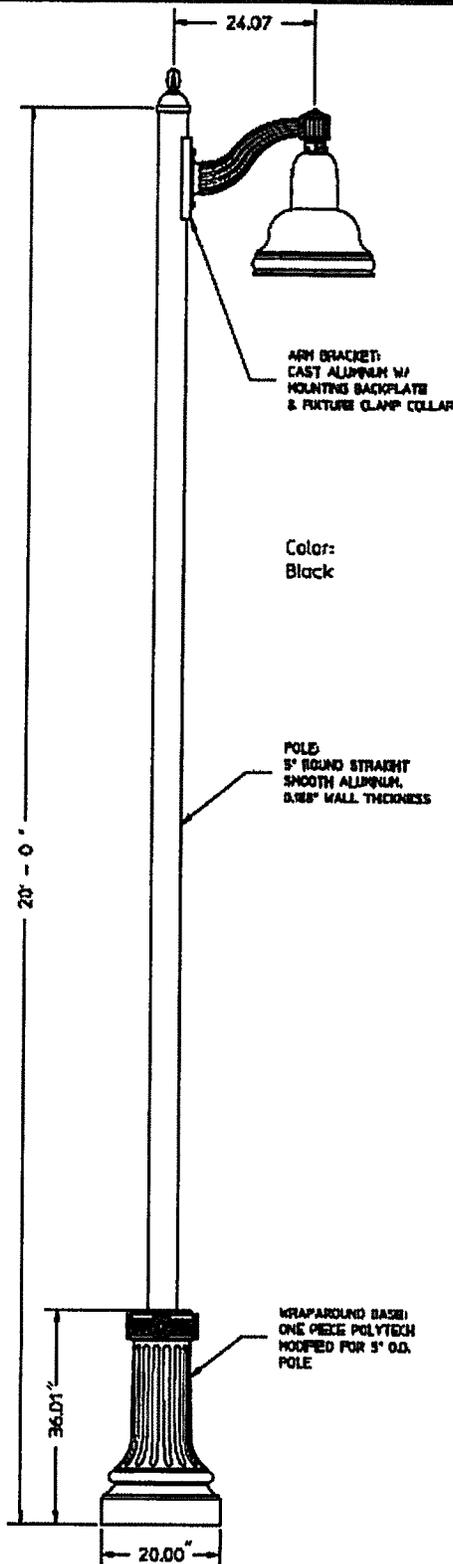
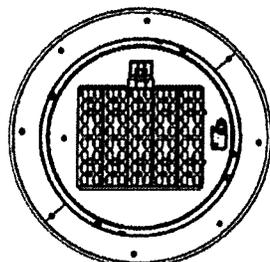
Base Template Detail



7-1/2" DIA. B.C.
9-1/2" DIA. B.C.

ANCHOR ROOS:
GALVANIZED STEEL,
(4) 3/4" DIA x 17" LG

ACCESS
DOOR



ARM BRACKET:
CAST ALUMINUM W/
MOUNTING BACKPLATE
& FUTURE CLAMP COLLAR

Color:
Black

POLE
5" ROUND STRAIGHT
SMOOTH ALUMINUM,
0.063" WALL THICKNESS

WRAPAROUND BASE:
ONE PIECE POLYTECH
MODIFIED FOR 5" O.D.
POLE

SPECIFICATIONS:

1. 80, 4000K PHILIPS LUMILEDS REBEL LED'S, >70 COLOR RENDERING INDEX (CRI) NOMINAL WITH INJECTION MOLDED ACRYLIC OPTICAL PLATES.
2. >70 @ 65,000 HRS @25°C.
3. TYPE II LIGHT DISTRIBUTION.
4. PHILIPS ADVANCE XITANIUM CLASS 1, IP66 RATED LED DRIVER. DRIVER OPERATES 120-277 VAC, 350mA, 50-60 Hz AUTO SENSING, ADDITIONAL 10KV BIL SURGE SUPPRESSION, >90% POWER FACTOR, <20% THD.
5. OPERATING TEMPERATURE RANGE IS -40°C TO +40°C.
6. MANUFACTURE TO ISO 9001:2008 STANDARDS, RoHS, VIBRATION TESTED TO ANSI C136.31 FOR NORMAL APPLICATIONS, ETL/CETL LISTED TO UL8750 & UL1598 COMPLIANT.
7. LED BOARDS: 80 LEDS.
8. COLOR: BLACK.
9. OPTICS: TYPE II.
10. SURGE SUPPRESSION: ADDITIONAL 10KV BIL.

NOTE:

PARTS OF THE ENTIRE LIGHT ASSEMBLY SHALL BE AS SPECIFIED OR APPROVED EQUIVALENT

ORDERING GUIDE (PHILIPS HADCO): S5995G LUMINAIRE,
SA5995E ARM BRACKET, SA5995F WRAPAROUND BASE,
SP5995C: POLE, OR APPROVED EQUIVALENT

POST PENDANT LIGHT ASSEMBLY

The City of San Marcos
Engineering and Capital Improvements

STANDARD DETAILS
N.T.S

DRAWING: T:/DETAILS/POST PENDANT LIGHT ASSEMBLY

DATE: APRIL 2012

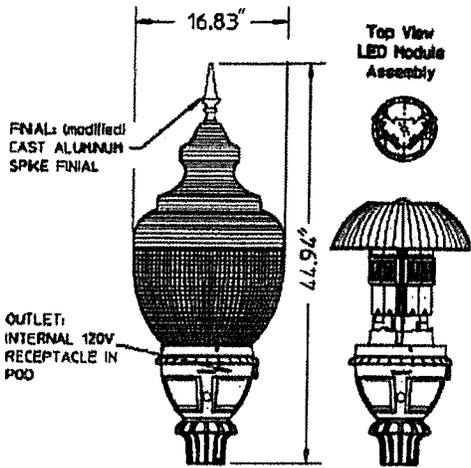
ANTIQUÉ ASSEMBLIES

Antique Single Approved for use in:

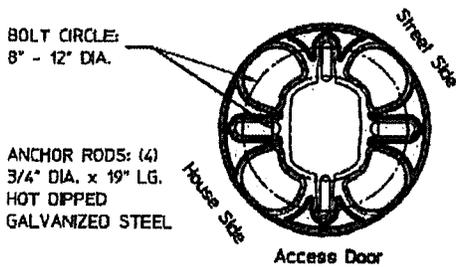
- Smart Code Transects T3, T4, T5
- As approved in Smart Code Special Districts (SD)

Antique Double Approved for use in:

- Smart Code Transects T5
- As approved in Smart Code Special Districts (SD)

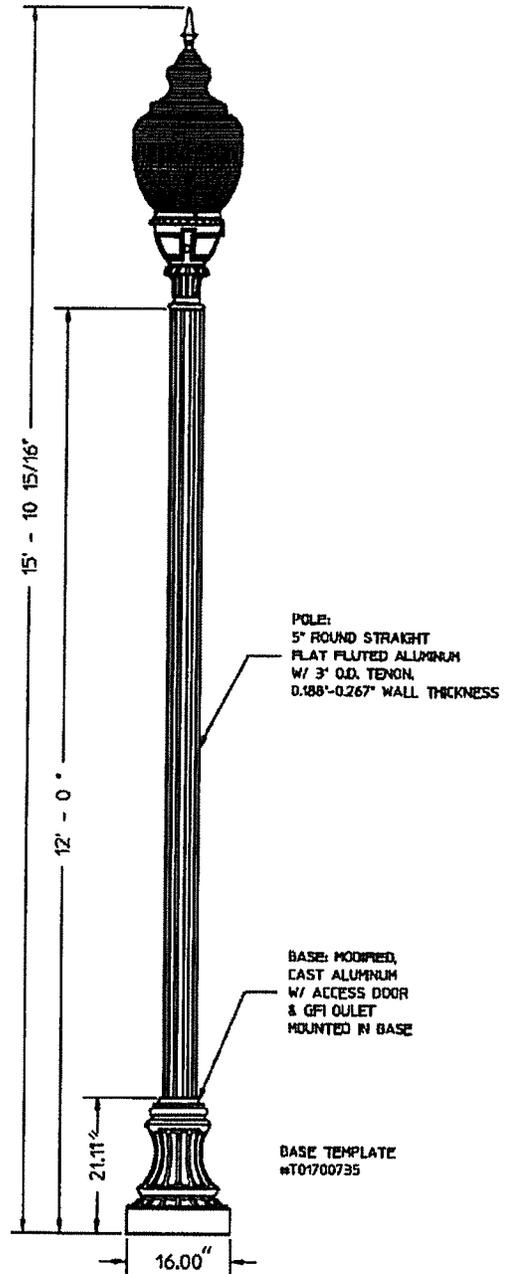


Base Template Detail



SPECIFICATIONS:

1. 80, 4000K (CCT) LUXEON REBEL ES LED'S ON ALUMINUM CORE PCB. SEALED ACRYLIC LENSE, IP66 RATED.
2. MIN 65 COLOR RENDERING INDEX (CRI).
3. 120-277 VAC, 50-60Hz AUTO SENSING.
4. 10KV/10KA SURGE SUPPRESSION BUILT IN.
5. OPTICS: TYPE III, WIDE BODY, ACRYLIC W/FULL TOP REFLECTOR.
6. FASTENERS: HEX HEAD BOLTS.
7. COLOR: BLACK.
8. PHOTO CONTROL: TWIST-LOCK RECEPTACLE.
9. COLOR TEMPERATURE: 4000K.
10. POLE HEIGHT: 10 FT, 12 FT (SHOWN), 14 FT, OR 16FT.



NOTE:
PARTS OF THE ENTIRE LIGHT ASSEMBLY SHALL BE AS SPECIFIED OR APPROVED EQUIVALENT

ORDERING GUIDE (PHILIPS HADCO): S5995A LUMINAIRE, SP5995 POLE, OR APPROVED EQUIVALENT

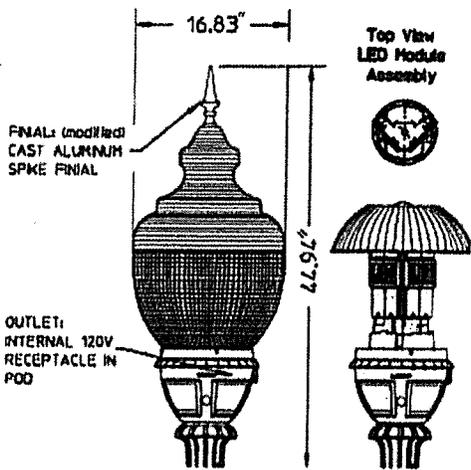
ANTIQUE SINGLE LIGHT ASSEMBLY

The City of San Marcos
Engineering and Capital Improvements

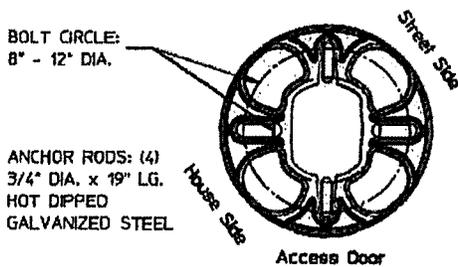
STANDARD DETAILS
N.T.S

DRAWING: T:/DETAILS/ANTIQUE SINGLE LIGHT ASSEMBLY

DATE: APRIL 2012

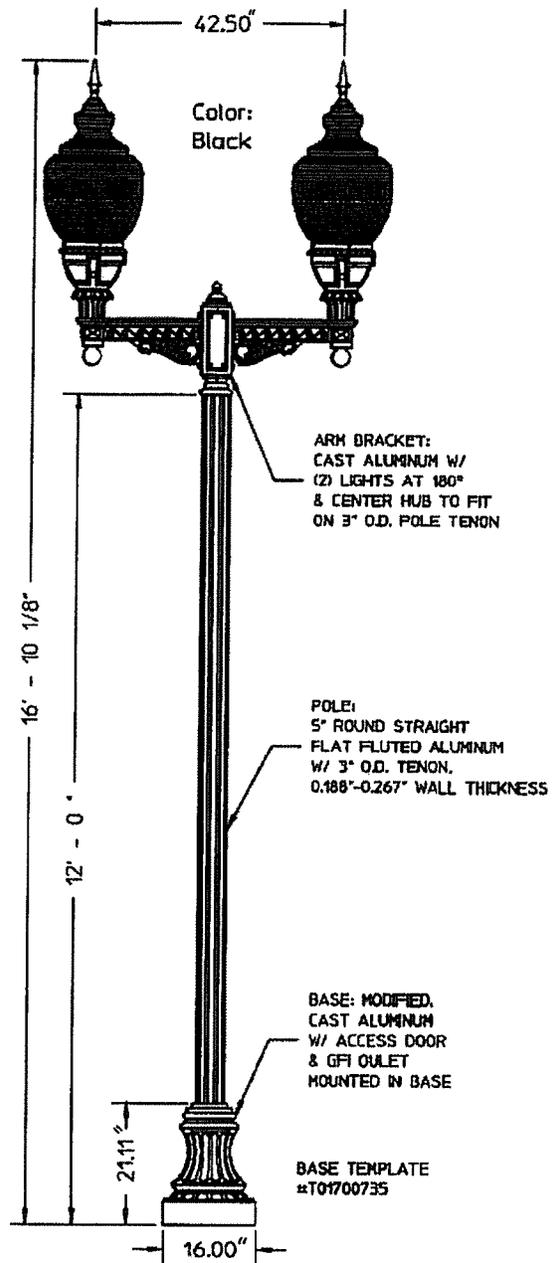


Base Template Detail



SPECIFICATIONS:

1. 80, 4000K (CCT) LUXEON REBEL ES LED'S ON ALUMINUM CORE PCB. SEALED ACRYLIC LENSE, IP66 RATED.
2. MIN 65 COLOR RENDERING INDEX (CRI).
3. 120-277 VAC, 50-60Hz AUTO SENSING.
4. 10KV/10KA SURGE SUPPRESSION BUILT IN.
5. OPTICS: TYPE III, WIDE BODY, ACRYLIC W/FULL TOP REFLECTOR.
6. FASTENERS: HEX HEAD BOLTS.
7. COLOR: BLACK.
8. PHOTO CONTROL: TWIST-LOCK RECEPTACLE.
9. COLOR TEMPERATURE: 4000K.
10. POLE HEIGHT: 10 FT, 12 FT (SHOWN), 14 FT, OR 16 FT.



NOTE:

PARTS OF THE ENTIRE LIGHT ASSEMBLY SHALL BE AS SPECIFIED OR APPROVED EQUIVALENT

ORDERING GUIDE (PHILIPS HADCO): S5995A LUMINAIRE, SA5995C ARM BRACKET, SP5995 POLE, OR APPROVED EQUIVALENT

ANTIQUE DOUBLE LIGHT ASSEMBLY

The City of San Marcos
Engineering and Capital Improvements

STANDARD DETAILS
N.T.S

DRAWING: T:/DETAILS/ANTIQUE DOUBLE LIGHT ASSEMBLY

DATE: APRIL 2012

MODERN ASSEMBLIES

Modern Single Approved for use in:

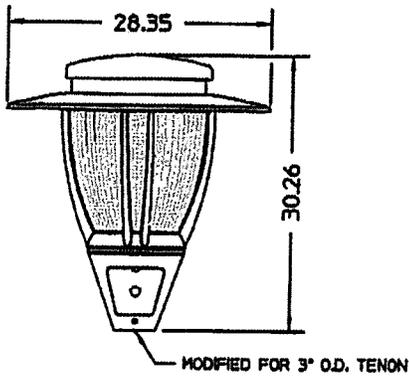
- Smart Code Transects T3, T4, T5
- As approved in Smart Code Special Districts (SD)

Modern Double Approved for use in:

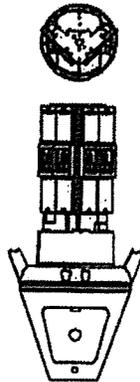
- Smart Code Transects T5
- As approved in Smart Code Special Districts (SD)

NOTE: Tapered pole height other than 12' requires special approval.

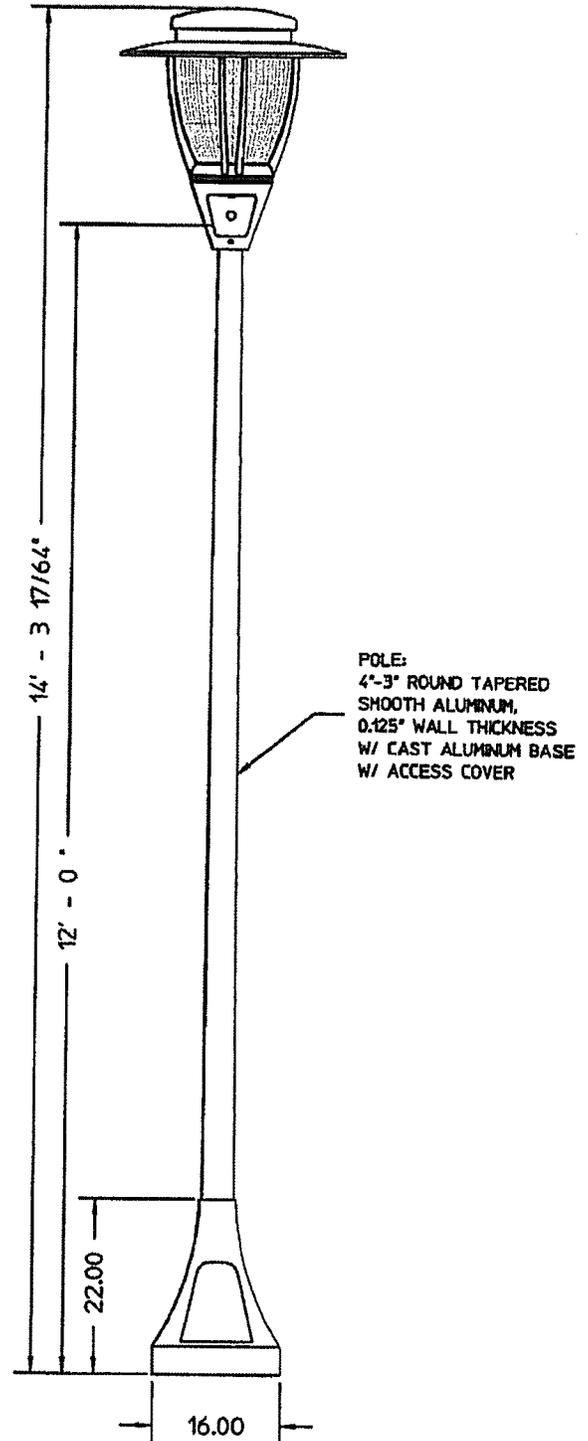
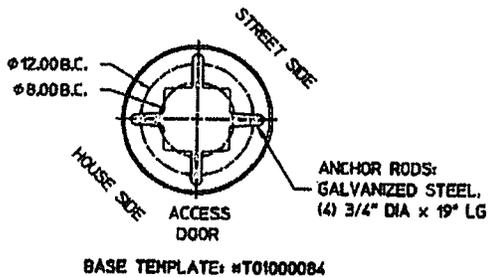
Luminaire Detail



**Top View
LED Module Assembly**



Base Template Detail



SPECIFICATIONS:

1. 80, 4000K (CCT) LUXEON REBEL ES LED's ON ALUMINUM CORE PCB, SEALED ACRYLIC LENS, IP66 RATED, 60,000 HRS @ 25°C & 70% LUMEN MAINTENANCE, 0.99 POWER FACTOR.
2. PHILIPS ADVANCE XITANIUM LED DRIVER, 120-277 VAC, 50-60 Hz, 350mA DRIVE CURRENT, ADDITIONAL 10kV SURGE SUPPRESSION.
3. GLOBE: TYPE III, NARROW BODY, ACRYLIC
4. FASTENERS: ALLEN HEAD SET SCREWS
5. COLOR: BLACK
6. PHOTO CONTROL: TWIST-LOCK RECEPT.
7. COLOR TEMPERATURE: 4000K

NOTE:

PARTS OF THE ENTIRE LIGHT ASSEMBLY SHALL BE AS SPECIFIED OR APPROVED EQUIVALENT

ORDERING GUIDE (PHILIPS HADCO): S5995C LUMINAIRE, SP5995A POLE, OR APPROVED EQUIVALENT

MODERN SINGLE LIGHT ASSEMBLY

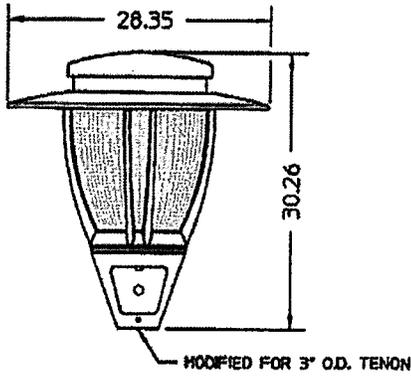
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STANDARD DETAILS
N.T.S.

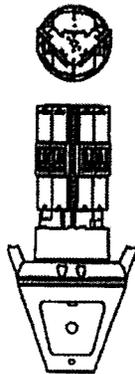
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DATE: AUGUST 2012

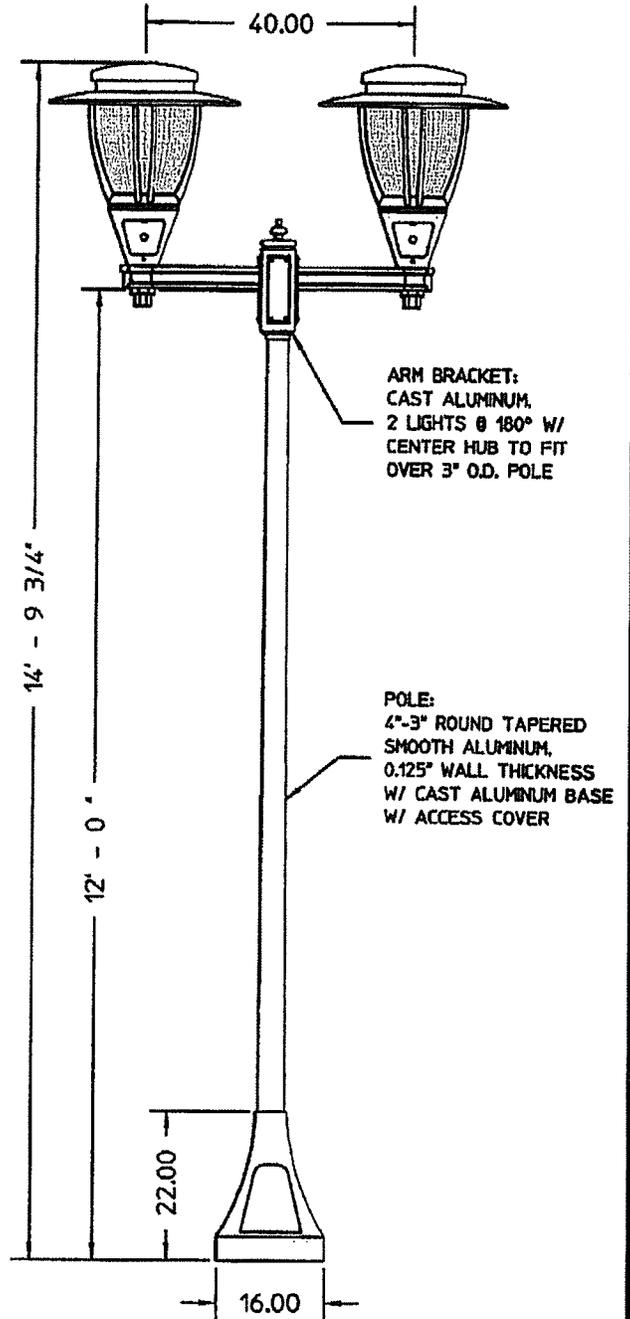
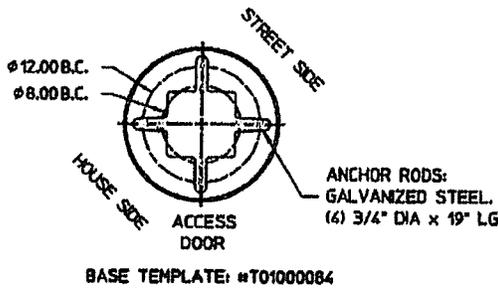
Luminaire Detail



**Top View
LED Module Assembly**



Base Template Detail



SPECIFICATIONS:

1. 80, 4000K (CCT) LUXEON REBEL ES LED's ON ALUMINUM CORE PCB, SEALED ACRYLIC LENS, IP66 RATED, 60,000 HRS @ 25°C & 70% LUMEN MAINTENANCE, 0.99 POWER FACTOR.
2. PHILIPS ADVANCE XITANIUM LED DRIVER, 120-277 VAC, 50-60 Hz, 350mA DRIVE CURRENT, ADDITIONAL 10kV SURGE SUPPRESSION.
3. GLOBE: TYPE III, NARROW BODY, ACRYLIC
4. FASTENERS: ALLEN HEAD SET SCREWS
5. COLOR: BLACK
6. PHOTO CONTROL: TWIST-LOCK RECEPT.
7. COLOR TEMPERATURE: 4000K

NOTE:

PARTS OF THE ENTIRE LIGHT ASSEMBLY SHALL BE AS SPECIFIED OR APPROVED EQUIVALENT

ORDERING GUIDE (PHILIPS HADCO): S5995C LUMINAIRE, SA5995G ARM BRACKET, SP5995A POLE, OR APPROVED EQUIVALENT

MODERN DOUBLE LIGHT ASSEMBLY

The City of San Marcos
Engineering and Capital Improvements

STANDARD DETAILS
N.T.S.

DRAWING:

DATE: AUGUST 2012

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