



## REGULAR MEETING OF THE SAN MARCOS PLANNING AND ZONING COMMISSION

Tuesday, August 14, 2012, 6:00 p.m.

City Council Chambers

630 E. Hopkins Street

*Bill Taylor, Chair*

*Curtis Seebeck, Vice-Chair*

*Randy Bryan, Commissioner*

*Chris Wood, Commissioner*

*Travis Kelsey, Commissioner*

*Kenneth Ehlers, Commissioner*

*Carter Morris, Commissioner*

*Bucky Couch, Commissioner*

*Corey Carothers, Commissioner*

### AGENDA

1. **Call to Order.**
2. **Roll Call.**
3. **Chairperson's Opening Remarks.**
4. ***NOTE:*** *The Planning & Zoning Commission may adjourn into Executive Session to consider any item listed on this agenda if a matter is raised that is appropriate for Executive Session discussion. An announcement will be made of the basis for the Executive Session discussion. The Planning and Zoning Commission may also publicly discuss any item listed on the agenda for Executive Session.*

5. **30 Minute Citizen Comment Period.**

#### **CONSENT AGENDA:**

6. **Consider the approval of the minutes from the Regular Meeting on July 24, 2012.**

#### **PUBLIC HEARINGS:**

7. **CUP-12-28 (HEB Cafe)** Hold a public hearing and consider a request by HEB Beverage Company, L.L.C., on behalf of HEB Grocery Company LP, for a Conditional Use Permit to allow the sale of beer and wine for on-premise consumption in the café at HEB Food Store #243, located at 641 E. Hopkins Street.
8. **ZC-12-07 (302 W. San Antonio St.)** Hold a public hearing and consider a request by the City of San Marcos for a Zoning Change from SmartCode-CS (Civic Space) to SmartCode-T5 (Urban Center) for an approximately 0.235 acre site located at 302 W. San Antonio Street, in the Original Town of San Marcos, Block 18, Lot 1.
9. **ZC-12-08 (100 E. MLK Dr.)** Hold a public hearing and consider a request by the City of San Marcos for a Zoning Change from SmartCode-CS (Civic Space) to SmartCode-T5 (Urban Center) for an approximately 2.328 acre site located at 100 E. MLK Drive, in the J.S. Travis Survey, Block 1.

10. **ZC-12-09 (301 N. Guadalupe St.)** Hold a public hearing and consider a request by the City of San Marcos for a Zoning Change from SmartCode-CS (Civic Space) to SmartCode-T5 (Urban Center) for an approximately 0.935 acre site located at 301 N. Guadalupe Street, in the Original Town of San Marcos, Block 25 and part of Farm Lot 22.
11. **LDC-12-12 (Subdivision Improvements Bond)** Hold a public hearing and consider an amendment to Section 1.6.6.4 of the City's Land Development Code to add a performance bond as an authorized form of security for completion of public improvements required to serve a subdivision or development.
12. **LDC-12-13 (SmartCode Architectural Standards)** Hold a public hearing and discuss various revisions to Subpart C of the City Code (the SmartCode) including modifying the signage and lighting standards and adding architectural requirements.

**NON CONSENT:**

13. Discuss and consider the rescheduling of the following Regular Meeting Dates, and provide direction to staff:

October 9, 2012 due to American Planning Association Conference

November 27, 2012 due to Thanksgiving Holiday

December 25, 2012 due to Christmas Holiday

**14. Development Services Report**

- a. Update from staff on the Comprehensive Plan
- b. Fee Update

15. **“Question and Answer Session with Press and Public.** *This is an opportunity for the Press and Public to ask questions related to items on this agenda.”*

16. Adjourn.

*Notice of Assistance at the Public Meetings: The San Marcos City Hall is wheelchair accessible. The entry ramp is located in the front of the building. Accessible parking spaces are also available in that area. Sign interpretative for meetings must be made 48 hours in advance of the meeting. Call the City Clerk's Office at 512-393-8090.*



**MINUTES OF THE REGULAR MEETING OF THE  
SAN MARCOS PLANNING AND ZONING COMMISSION  
COUNCIL CHAMBERS, CITY HALL  
July 24, 2012**

**1. Present**

**Commissioners:**

Bill Taylor, Chair  
Bucky Couch  
Chris Wood  
Corey Carothers  
Randy Bryan  
Kenneth Ehlers

**City Staff:**

Matthew Lewis, Development Services Director  
Kristy Stark, Development Services Assistant Director  
Sam Aguirre, Assistant City Attorney  
Francis Serna, Recording Secretary  
John Foreman, Planning Manager  
Alison Brake, Planner  
John Stanley, Planner  
Emily Koller, Planning Tech

**2. Call to Order and a Quorum is Present.**

With a quorum present, the Regular Meeting of the San Marcos Planning & Zoning Commission was called to order by Chair Taylor at 6:00 p.m. on Tuesday July 24, 2012, in the Council Chambers, City Hall, City of San Marcos, 630 E. Hopkins, San Marcos, Texas 78666.

**3. Chairperson's Opening Remarks.**

Chair Taylor welcomed audience and viewers.

**4. NOTE:** *The Planning & Zoning Commission may adjourn into Executive Session to consider any item listed on this agenda if a matter is raised that is appropriate for Executive Session discussion. An announcement will be made of the basis for the Executive Session discussion. The Planning and Zoning Commission may also publicly discuss any item listed on the agenda for Executive Session.*

**5. 30 Minute Citizen Comment Period**

Diane Wassenich, 11 Tangelwood said Item 13, Hillside II is an issue she still cares about and Hillside II is in her neighborhood. She stated that she does not like to see the area rezoned from single family to apartments. Ms. Wassenich pointed out that she wants to register her disapproval of the request. She added that she is still concerned about the erosion that continues to happen. She said months ago she emailed photos. Ms. Wassenich stated that she hopes that increased impervious cover in the area does not continue to cut a trench through the parkland down to sink creek.

**6. Presentation and discussion regarding the Gas Lamp District project.**

Matthew Lewis gave a brief overview of the project and introduced Alexas Knight. Alexas Knight, Regional Vice President of Walton Group and Rick Rosenburg, Managing Principle of DPF Consulting firm in Austin gave a brief overview of the project.

**Consent Agenda:**

**7. Consider the approval of the minutes from the Regular Meeting on July 10, 2012.**

**MOTION:** Upon a motion made by Commissioner Wood and a second by Commissioner Bryan, the Commission approved on consent the minutes from the Regular Meeting on July 24, 2012. The motion carried unanimously.

**Public Hearings:**

**8. PC-12-08(04) (Stagecoach Business Park Replat)** Hold a public hearing and consider a request by Byrn & Associates, Inc., on behalf of South Stagecoach Business Park, LTD., for approval of a replat of Lot 9, Stagecoach Business Park, establishing Lots 9-A and 9-B, located at the corner of Wonder World Drive and South Stagecoach Trail.

Chair Taylor opened the public hearing. There were no citizen comments and the public hearing was closed.

**MOTION:** Upon a motion made by Commissioner Wood and a second by Commissioner Ehlers, the Commission voted all in favor to approved PC-12-08(04) with the conditions that Security is required to be posted for the extension of the wastewater line to Lot 9-A prior to the recordation of the plat. The motion carried unanimously.

**9. CUP-12-25 (Ruby Heels Wine Shoppe - General)** Hold a public hearing and consider a request by RAK Hestand, LLC on behalf of Ruby Heels Wine Shoppe for granting of a Conditional Use Permit to allow a microbrewery use within a T-5 Smart Code Zoning District at 100 N. Edward Gary Street, Suite C.

**10. CUP-12-24 (Ruby Heels Wine Shoppe - TABC)** Hold a public hearing and consider a request by RAK Hestand, LLC on behalf of Ruby Heels Wine Shoppe for granting of a Conditional Use Permit to allow the sale of beer and wine for on-premise consumption at 100 N. Edward Gary Street, Suite C.

Chair Taylor opened the public hearing for CUP-12-25 and CUP-12-24. There were no citizen comments and the public hearing was closed.

**MOTION:** Upon a motion made by Commissioner Couch and a second by Commissioner Ehlers, the Commission voted all in favor to approve CUP-12-25. The motion carried unanimously.

**MOTION:** Upon a motion made by Commissioner Couch and a second by Commission Ehlers, the Commission voted all in favor to approve CUP-12-24 with the conditions that the permit shall be valid for one (1) year, provided standards are met, subject to the point system; the permit shall not be valid until an approved TABC Permit is issued to the applicant and a copy is submitted to the Director; the permit shall not become effective until a Certificate of Occupancy is received; and all Environmental Health permitted requirements must be met. The motion carried unanimously.

**11. CUP-12-26 (The Square Peg)** Hold a public hearing and consider a request by Brass Holdings LLC on behalf of The Square Peg, for the granting of a Restricted (Restaurant) Conditional Use Permit to allow the sale of mixed beverages for on-premise consumption at 179 S. LBJ Drive.

Chair Taylor opened the public hearing. Brian Rasmussen, 1001 S. First Street, Austin Texas representing Brass Holdings, LLC thanked everyone for their consideration. He added that he was available to answer questions. There were no additional citizen comments and the public hearing was closed.

**MOTION:** Upon a motion made by Commissioner Carothers and a second by Commission Wood, the Commission voted all in favor to approve CUP-12-26 with the conditions that the permit shall be valid for three (3) years, provided standards are met, subject to the point system; the Restricted Conditional Use Permit shall not be issued until the applicant has received an Economic Development Incentive from City Council or has been in operation for one (1) year; the permit shall not be valid until an approved TABC Permit is issued to the applicant and a copy is submitted to the Director, the permit shall not become

effective until a Certificate of Occupancy is received, and all Environmental Health permitting requirements must be met. The motion carried unanimously.

**12. CUP-12-27 (Harper's Public House)** Hold a public hearing and consider a request by Shy Inc., on behalf of Harper's Public House, for a renewal of the existing Conditional Use Permit to allow the continued sale of mixed beverages for on-premise consumption at 139 E. Hopkins Street.

Chair Taylor opened the public hearing. There were no citizen comments and the public hearing was closed.

**MOTION:** Upon a motion made by Commissioner Wood and a second by Commission Couch, the Commission voted all in favor to approve CUP-12-27 with the conditions that the permit shall be valid for the life of the TABC license, provided standards are met, subject to the point system. The motion carried unanimously.

**Non Consent Agenda:**

**13. PC-12-18(03) (Hillside Ranch Phase 2)** Consider a request by Ash & Associates, LLC on behalf of GEM Hillside Ranch, L.P. and Daniel C. Anderson for approval of a final plat for approximately 10.925 acres, more or less, out of the Thomas J Chambers Survey, Tract 179 at 1410 N. LBJ Drive and to find that the parkland dedicated by such plat has exceptional recreational value that warrants its acceptance.

**MOTION:** Upon a motion made by Commissioner Carothers and a second by Commission Couch, the Commission voted five (5) for and one (1) against to approve PC-12-18(03) with the condition that the plat shall not be recorded with the County until private drainage easement within the parkland lot, agreeable to the City of San Marcos has been recorded with the County. The motion carried.

**14. Development Services Report**

- a. Update from staff on Comprehensive Plan

Matthew Lewis gave an update on the upcoming meetings for the Comprehensive Plan.

**15. "Question and Answer Session with Press and Public. This is an opportunity for the Press and Public to ask questions related to items on this agenda."**

There were no questions from the press and public.

**16. Adjourn.**

Chair Taylor adjourned the Planning and Zoning Commission at 7:09 p.m. on Tuesday, July 24, 2012.

\_\_\_\_\_  
Bill Taylor, Chair

\_\_\_\_\_  
Randy Bryan, Commissioner

\_\_\_\_\_  
Corey Carothers, Commissioner

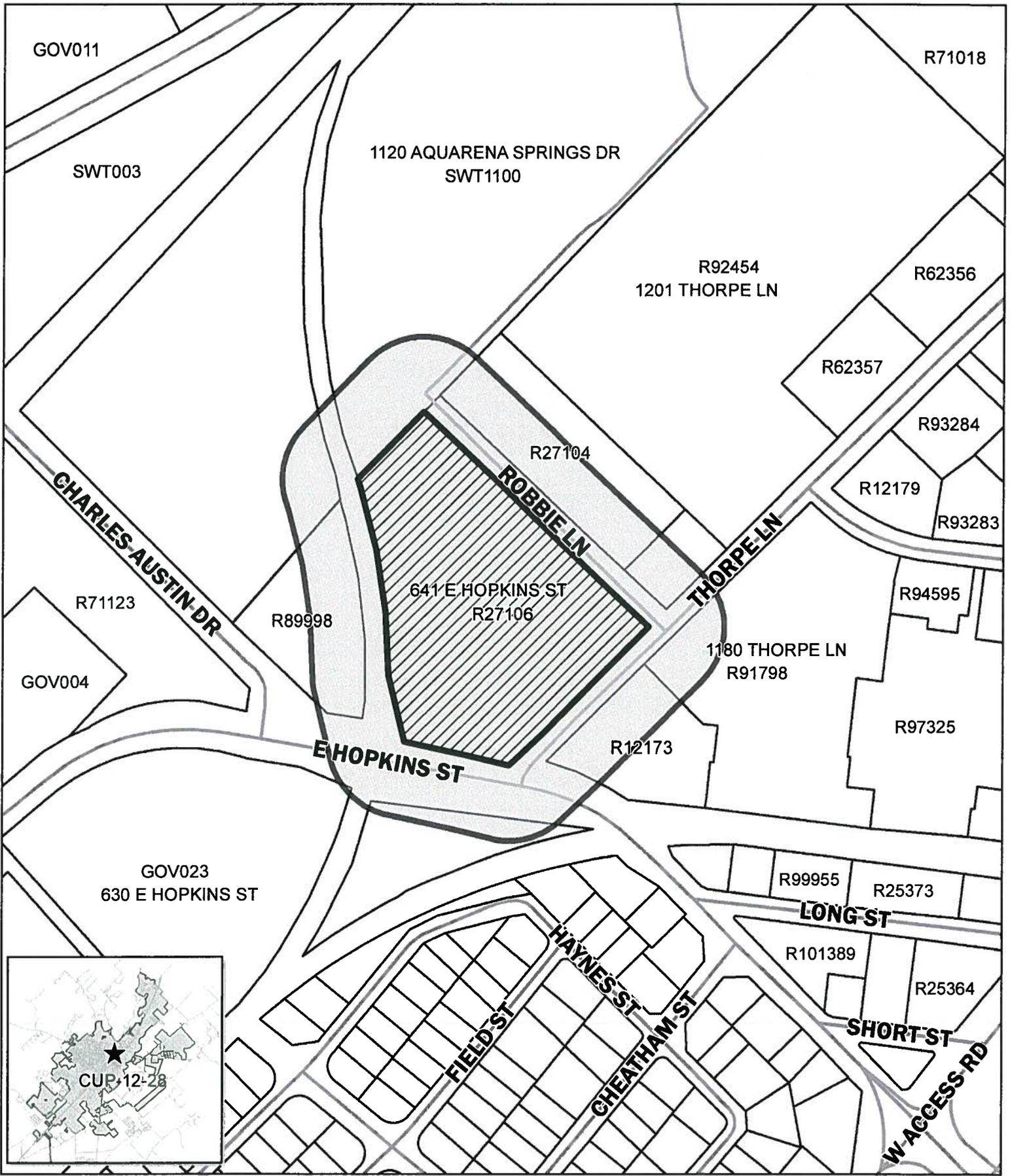
\_\_\_\_\_  
Kenneth Ehlers, Commissioner

\_\_\_\_\_  
Bucky Couch, Commissioner

\_\_\_\_\_  
Chris Wood, Commissioner

ATTEST:

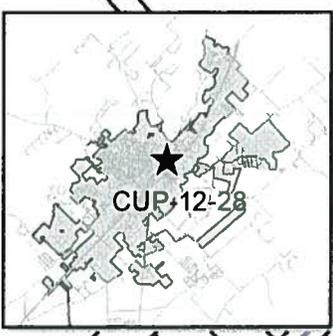
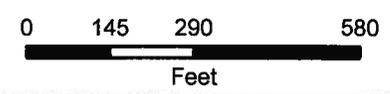
\_\_\_\_\_  
Francis Serna, Recording Secretary



**CUP-12-28**  
**HEB Cafe**  
**Map Date: 8/1/12**

-  Notification Buffer (200 feet)
-  Site Location
-  Historic District

This map was created by Development Services for reference purposes only. No warranty is made concerning the map's accuracy or completeness.



**CUP-12-28**  
**Conditional Use Permit**  
**HEB Café**  
**641 E. Hopkins Street**



**Applicant Information:**

**Applicant:** HEB Beverage Company, LLC

**Mailing Address:** P.O. Box 839986  
San Antonio, TX 78283

**Property Owner:** HEB Grocery Company, LP  
646 S. Main  
San Antonio, TX 78204

**Applicant Request:** A Conditional Use Permit (CUP) to allow the on-premise consumption of beer and wine.

**Public Hearing Notice:** Public hearing notification was mailed on August 3, 2012.

**Response:** None as of August 9, 2012

**Subject Property:**

**Expiration Date:** N/A – new CUP request

**Location:** 641 E. Hopkins Street

**Legal Description:** Englebrook, Section 2, Lot 1 and Lot 1A, Block 2, and Tract in J.M. Veramendi Survey, Acres 9.282

**Frontage On:** Hopkins Street and Thorpe Lane

**Neighborhood:** None

**Existing Zoning:** "GC" – General Commercial

**Sector:** Sector 7

**Utilities:** Adequate

**Existing Use of Property:** Grocery store

**Zoning and Land Use Pattern:**

	<b>Current Zoning</b>	<b>Existing Land Use</b>
<b>N of property</b>	<b>MF-24 &amp; P</b>	<b>Multi-family &amp; University</b>
<b>S of property</b>	<b>P</b>	<b>City Hall</b>
<b>E of property</b>	<b>GC</b>	<b>Commercial</b>
<b>W of property</b>	<b>GC</b>	<b>Commercial</b>

### **Code Requirements:**

A Conditional Use Permit (CUP) allows the establishment of uses which may be suitable only in certain locations or only when subject to standards and conditions that assure compatibility with adjoining uses. Conditional uses are generally compatible with permitted uses, but require individual review and imposition of conditions in order to ensure the appropriateness of the use at a particular location.

A business applying for on-premise consumption of alcohol must not be within 300 feet of a church, school, hospital, or a residence located in a low density residential zoning district. This location **does** meet the distance requirements. This location is outside the Central Business Area (CBA) and is not subject to the additional requirements in the CBA.

CUPs issued for on-premise consumption of alcohol make the business subject to the code standards and the penalty point system for violations (Section 4.3.4.2).

### **Case Summary**

HEB is a grocery store located on Hopkins Street with frontage also along Thorpe Lane. The property is zoned "GC" General Commercial. The entire store is currently undergoing a renovation and a part of the renovation calls for the addition of a café at the front of the grocery store. The applicant has applied for a Conditional Use Permit in order to sell beer and wine for on-premise consumption at the café and they have applied for their TABC wine and beer retailer's permit. Although the TABC permit will cover the entire store premises, the applicant has stated that customers will not be allowed to take their beer or wine purchased in the café throughout the store. They plan on achieving this through signage and employee monitoring. The gross floor area of the café is approximately 1,497 square feet and the parking meets the requirements of the Land Development Code. The hours of operations proposed for the café are 11 a.m. to 9:00 p.m. While the application states that there will be TVs inside and outside the café for entertainment purposes, the applicant has stated that live music may be used for entertainment purposes as well. There are 30 fixed seats and 34 moveable seats inside the café with 20 moveable seats outside the café proposed.

### **Comments from Other Departments:**

Police, Building, Engineering, Environmental Health, and Code Enforcement have not reported major concerns regarding the subject property.

### **Planning Department Analysis:**

Staff has evaluated the impact of the proposed conditional use permit on the surrounding properties. The request is consistent with the policies of the Master Plan and the general intent of the zoning district and it should not generate pedestrian or vehicular traffic which is hazardous or conflicts with existing traffic in the neighborhood. Staff feels that the proposition of live music would not greatly impact the neighborhood. The area is mostly comprised of commercial businesses with a few multi-family apartments. Staff believes that if live music is proposed that it should end at 9:00 p.m. when the café closes. If the applicant were to extend the operating hours of the café, the CUP would need to be amended.

In order to monitor new permits for on-premise consumption of alcohol, the Planning Department's standard recommendation is that they be approved initially for a limited time period. Other new conditional use permits have been approved as follows:

- Initial approval for 1 year;
- Renewal for 3 years;
- Final approval for the life of the State TABC license, provided standards are met.

Staff provides this request to the Commission for your consideration and recommends approval of the Conditional Use Permit with the following conditions:

1. The permit shall be valid for one (1) year, provided standards are met, subject to the point system;
2. The permit shall not be valid until an approved TABC Permit is issued to the applicant and a copy is submitted to the Director;
3. The permit shall not become effective until a Certificate of Occupancy is received;
4. Live music shall end when the café closes at 9:00 p.m.; and
5. Signs shall be posted where seating is located, both inside and outside the café, stating: "It is prohibited for open containers of alcohol to be taken throughout the store and off-premise".

Planning Department Recommendation:	
	Approve as submitted
<b>X</b>	Approve with conditions or revisions as noted
	Alternative
	Denial

**Commission's Responsibility:**

The Commission is required to hold a public hearing and receive comments regarding the proposed Conditional Use Permit. After considering public input, the Commission is charged with making a decision on the Permit. Commission approval is discretionary. The applicant, or any other aggrieved person, may submit a written appeal of the decision to the Planning Department within 10 working days of notification of the Commission's action, and the appeal shall be heard by the City Council.

The Commission's decision is discretionary. In evaluating the impact of the proposed conditional use on surrounding properties, the Commission should consider the extent to which the use:

- is consistent with the policies of the Master Plan and the general intent of the zoning district;
- is compatible with the character and integrity of adjacent developments and neighborhoods;
- includes improvements to mitigate development-related adverse impacts; and
- does not generate pedestrian or vehicular traffic which is hazardous or conflicts with existing traffic in the neighborhood.

Conditions may be attached to the CUP that the Commission deems necessary to mitigate adverse effects of the proposed use and to carry out the intent of the Code.

**Prepared by:**

Alison Brake

Planner

8/6/2012

**Name**

**Title**

**Date**







# Zoning Change

## ZC-12-07

### 302 W. San Antonio



**Summary:** The City of San Marcos is initiating a zoning change from SmartCode - CS (Civic Space) to SmartCode – T5 (Urban Center)

**Agent:** City of San Marcos  
Development Services - Planning  
630 E. Hopkins  
San Marcos, TX 78666

**Owner:** Virgilio Altamirano  
Muzun Investments LLC  
Austin, TX

**Notification:** Personal notifications of the public hearing were mailed on Friday, August 3, 2012 to all property owners within 200 feet of the subject property as well as the CONA Representatives and the Sector 8 Neighborhood Commissioner. Notification signs were also placed on site.

**Response:** Scott Burton, 225 W. Hopkins, emailed with questions about plans for future use of property.

#### Property/Area Profile:

**Legal Description:** Original Town of San Marcos, Block 18, Lot 1  
**Location:** 302 W. San Antonio  
**Existing Use of Property:** Former Hays County Juvenile Center  
**Proposed Use of Property:** Residential  
**Future Land Use Map:** NA  
**Existing Zoning:** SmartCode-CS (Civic Space)  
**Proposed Zoning:** SmartCode-T5 (Urban Center)  
**Sector:** 8

#### **Area Zoning and Land Use Pattern:**

	Zoning	Existing Land Use	Future Land Use
N of Property	T5	Commercial	
S of Property	T4	Residential	
E of Property	CS	Public/Institutional	
W of Property	T5	Commercial	

**Comments from other Departments:**

None received

**Background Information:**

The City of San Marcos is initiating a zoning change from SmartCode-CS (Civic Space) to SmartCode-T5 (Urban Center). The property is located within the Downtown SmartCode area and is the former Hays County Juvenile Center. It is approximately .23 acres and is currently vacant. It has recently been sold to a new owner who would like to construct a 3-unit condominium project.

**Planning Department Analysis**

As a government building, the subject property was zoned SmartCode-CS (Civic Space) when the SmartCode was implemented in 2010.

The property has recently sold to a private individual. The existing zoning does not allow for redevelopment of the property; under its current classification as Civic Space the only permitted use would be a permanent outdoor public area or continued use in the existing building as a not-for-profit or public institution.

The SmartCode requires dedication of property for public use, either as Civic Space (CS) or Civic Building (CB) within the Transects – and specifically each pedestrian shed within T3, T4 and T5 must assign 5% of its urbanized area to Civic Space. Civic Space is defined as an outdoor area permanently dedicated for public use including a park, square, green, plaza, playground or community garden. A Civic Building is defined as a building operated by not-for-profit organizations dedicated to arts, culture, education, recreation, government, transit and municipal parking.

Staff believes that rezoning the property is consistent with the policies of the SmartCode and Downtown Master Plan. This property is bordered on all sides by existing SmartCode zoning. Its classification as CS was the result of the prior use as a government building, not as a key site for public outdoor space. Staff believes the character of T5 (Urban Center) with its higher density mixed use is the appropriate land use intensity for the future of this section of San Antonio Street. (There is no Future Land Use Designation for the SmartCode area).

Evaluation			Criteria (LDC 1.5.1.5)
Consistent	Inconsistent	Neutral	
X			<p>Change implements the policies of the adopted Master Plan, including the land use classification on the Future Land Use Map and any incorporated sector plan maps</p> <p><i>The change is consistent with the Downtown Master Plan which identifies San Antonio as a primary street and should be the location for retail, office and residential. There is no Future Land Use Map designation for the SmartCode area.</i></p>
		X	<p>Consistency with any development agreement in effect</p> <p><i>No development agreements exist on this tract.</i></p>

Evaluation			Criteria (LDC 1.5.1.5)
Consistent	Inconsistent	Neutral	
X			<p>Whether the uses permitted by the proposed change and the standards applicable to such uses will be appropriate in the immediate area of the land to be reclassified.</p> <p><i>The uses permitted by the rezoning are more appropriate for the area than existing CS and will be more consistent with the surrounding properties.</i></p>
		X	<p>Whether the proposed change is in accord with any existing or proposed plans for providing public schools, streets, water supply, sanitary sewers, and other public services and utilities to the area.</p> <p><i>The property is currently served with City water and wastewater. There are no Capital Improvement Plan projects anticipated in the immediate area.</i></p>
		X	<p>Other factors which substantially affect the public health, safety, morals, or general welfare.</p>

Additionally, the Commission should consider:

- (1) Is the property suitable for use as presently zoned?

*Staff evaluation: No, as zoned presently, the only permitted use is for outdoor permanent public space or a not-for-profit civic building.*

- (2) Has there been a substantial change of conditions in the neighborhood surrounding the subject property?

*Staff evaluation: No, the surrounding neighborhood has been and remains a mix of office, commercial, residential and public uses.*

- (3) Will the proposed rezoning address a substantial unmet public need?

*Staff evaluation: This would not address a substantial unmet need. However, the proposed rezoning would allow for the property use to be more consistent with the intent of the SmartCode. Staff feels the section of W. San Antonio is suitable for the higher intensity mixed use characteristics of T5 and rezoning will allow for development options that will enhance the pedestrian experience along the street.*

- (4) Will the proposed rezoning confer a special benefit on the land owner/developer and cause a substantial detriment to the surrounding lands?

*Staff evaluation: While there is more benefit to the land owner for a rezoning, the uses allowed under T5 are also more consistent with the character of the surrounding properties than the existing CS.*

- (5) Will the proposed rezoning serve a substantial public purpose?

*Staff evaluation: Rezoning will help prevent blight. Without the change, the property could remain vacant and underutilized.*

Staff recommends approval.

<b>Planning Department Recommendation:</b>	
<input checked="" type="checkbox"/>	<b>Approve as submitted</b>
<input type="checkbox"/>	<b>Approve with conditions or revisions as noted</b>
<input type="checkbox"/>	<b>Alternative</b>
<input type="checkbox"/>	<b>Denial</b>

**The Commission's Responsibility:**

The Commission is required by law to hold a public hearing and receive public comment regarding the proposed zoning. After considering the public input, the Commission is charged with making an advisory recommendation to the City Council regarding the request. The City Council will ultimately decide whether to approve or deny the zoning change request. The Commission's advisory recommendation to the Council is a discretionary decision.

**Prepared by:**

Emily Koller

Planning Technician

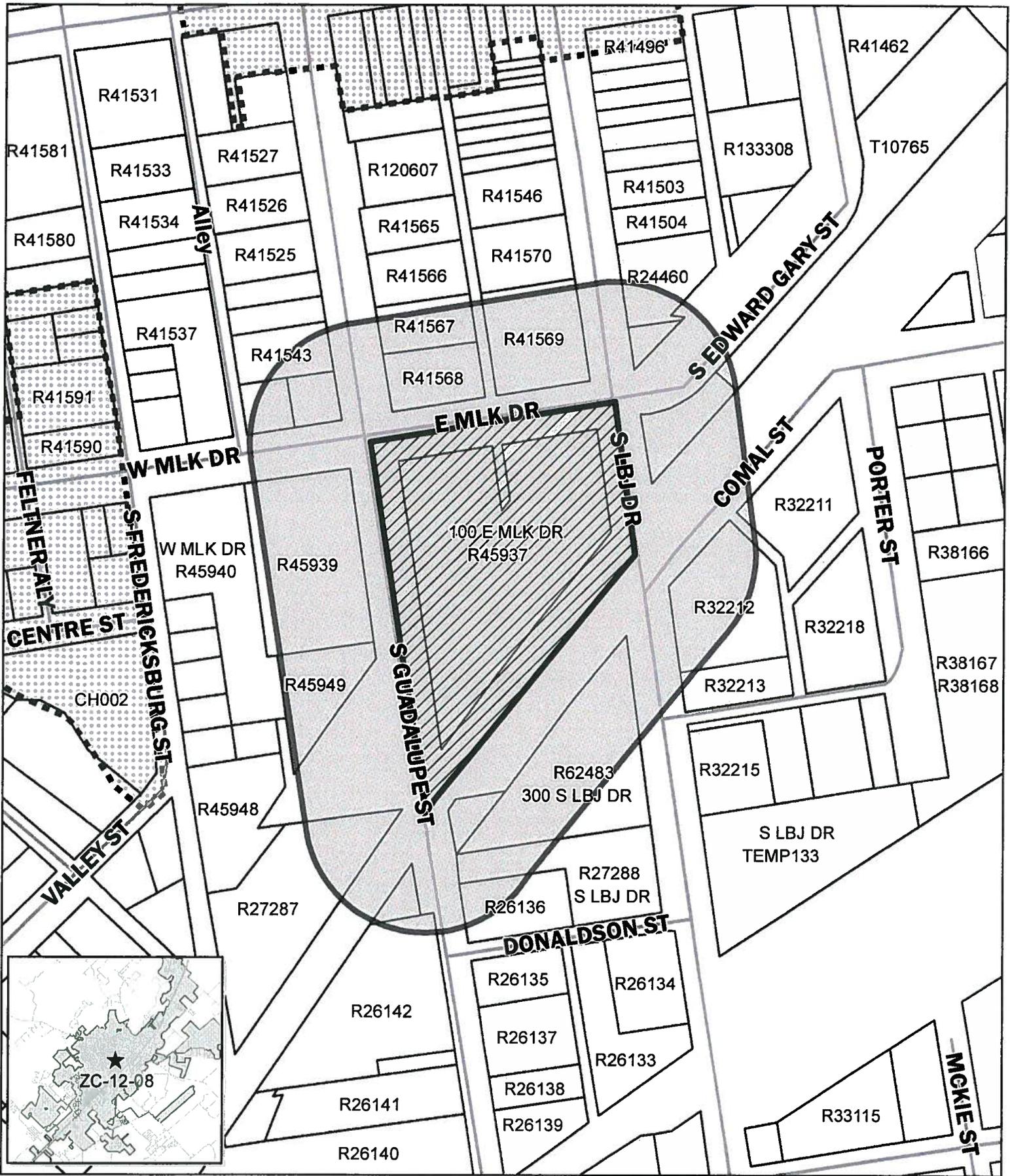
August 7, 2012

---

**Name**

**Title**

**Date**



**ZC-12-08**  
**100 E. MLK Dr.**  
**Map Date: 8/2/12**

-  Notification Buffer (200 feet)
-  Site Location
-  Historic District

This map was created by Development Services for reference purposes only. No warranty is made concerning the map's accuracy or completeness.

N

0    90    180    360  
 Feet

# Zoning Change

## ZC-12-08

### 100 E. MLK Dr.



**Summary:** The City of San Marcos is initiating a zoning change from SmartCode - CS (Civic Space) to SmartCode – T5 (Urban Center)

**Agent:** City of San Marcos  
Development Services - Planning  
630 E. Hopkins  
San Marcos, TX 78666

**Owner:** Hays County Government  
712 S. Stagecoach Trail  
San Marcos, TX 78666

**Notification:** Personal notifications of the public hearing were mailed on Friday, August 3, 2012 to all property owners within 200 feet of the subject property as well as the CONA Representatives and the Sector 8 and Sector 4 Neighborhood Commissioners. Notification signs were also placed on site.

**Response:** None.

### **Property/Area Profile:**

**Legal Description:** JS Travis, Block 1, Lot Pt of 1-2-3-4  
**Location:** 100 E. MLK Dr.  
**Existing Use of Property:** Former Hays County Justice Center  
**Proposed Use of Property:** N/A  
**Future Land Use Map:** N/A  
**Existing Zoning:** SmartCode-CS (Civic Space)  
**Proposed Zoning:** SmartCode-T5 (Urban Center)  
**Sector:** 8

**Area Zoning and Land Use Pattern:**

	Zoning	Existing Land Use	Future Land Use
N of Property	T5	Commercial	
S of Property	T4	Commercial	
E of Property	CS	Commercial	
W of Property	T5	Public/Commercial	

**Comments from other Departments:**

None received.

**Background Information:**

The City of San Marcos is initiating a zoning change from SmartCode-CS (Civic Space) to SmartCode-T5 (Urban Center). The property is located within the Downtown SmartCode area and is the former Hays County Justice Center. It is approximately 2.3 acres and is currently vacant. It has been vacant since Hays County consolidated their offices and moved to the new Government Center at 712 S. Stagecoach Trail.

**Planning Department Analysis**

As a government building, the subject property was zoned SmartCode-CS (Civic Space) when the SmartCode was implemented in 2010.

The existing zoning does not allow for redevelopment of the property; under its current classification as Civic Space the only permitted use is a permanent outdoor area or continued use in the existing building for a not-for-profit organization or public institution.

The SmartCode requires dedication of property for public use, either as Civic Space (CS) or Civic Building (CB) within the Transects – and specifically each pedestrian shed within T3, T4 and T5 must assign 5% of its urbanized area to Civic Space. Civic Space is defined as an outdoor area permanently dedicated for public use including a park, square, green, plaza, playground or community garden. A Civic Building is defined as a building operated by not-for-profit organizations dedicated to arts, culture, education, recreation, government, transit and municipal parking.

This property is bordered on all sides by existing SmartCode zoning. Its classification as CS was the result of the prior use as a government building, not as a key site for public outdoor space. Staff believes that rezoning the property to T5 is more consistent with the policies and intent of the SmartCode. Located along the train tracks between S. LBJ Dr. and S. Guadalupe St. the area has also been identified for transit-oriented development in the Downtown Master Plan. Staff feels the character of T5 (Urban Center) with its higher density mixed use is the appropriate land use intensity for this large parcel. (There is no Future Land Use Designation for the SmartCode area).

Evaluation			Criteria (LDC 1.5.1.5)
Consistent	Inconsistent	Neutral	
X			<p>Change implements the policies of the adopted Master Plan, including the land use classification on the Future Land Use Map and any incorporated sector plan maps</p> <p><i>The change is consistent with the Downtown Master Plan which identifies LBJ and Guadalupe as primary streets and this section of Downtown as ideal for transit-oriented development. In the future, it should be the location for transit, retail, office and residential. There is no Future Land Use Map designation for the SmartCode area.</i></p>
		X	<p>Consistency with any development agreement in effect</p> <p><i>No development agreements exist on this tract</i></p>

Evaluation			Criteria (LDC 1.5.1.5)
Consistent	Inconsistent	Neutral	
X			<p>Whether the uses permitted by the proposed change and the standards applicable to such uses will be appropriate in the immediate area of the land to be reclassified.</p> <p><i>The uses permitted by the rezoning are more appropriate for the area than existing CS.</i></p>
		X	<p>Whether the proposed change is in accord with any existing or proposed plans for providing public schools, streets, water supply, sanitary sewers, and other public services and utilities to the area.</p> <p><i>The property is currently served with City water and wastewater. There are no Capital Improvement Plan projects anticipated in the immediate area.</i></p>
		X	<p>Other factors which substantially affect the public health, safety, morals, or general welfare.</p>

Additionally, the Commission should consider:

- (1) Is the property suitable for use as presently zoned?

*Staff evaluation: No, as zoned presently, the only permitted use is for outdoor permanent public space or a not-for-profit/government building.*

- (2) Has there been a substantial change of conditions in the neighborhood surrounding the subject property?

*Staff evaluation: No, the surrounding neighborhood has been and remains a mix of office, commercial, residential and public uses.*

- (3) Will the proposed rezoning address a substantial unmet public need?

*Staff evaluation: This would not address a substantial unmet need. However, the proposed rezoning would allow for the property use to be more consistent with the intent of the SmartCode.*

- (4) Will the proposed rezoning confer a special benefit on the landowner/developer and cause a substantial detriment to the surrounding lands?

*Staff evaluation: No, there is no special benefit to the landowner because a rezoning would make the property use consistent with those surrounding it. Hays County wants to sell the building and without rezoning the tract, it is undesirable for sale and redevelopment.*

- (5) Will the proposed rezoning serve a substantial public purpose?

*Staff evaluation: Rezoning will help prevent blight. Without the change, the property could remain vacant and underutilized. Redevelopment consistent with the SmartCode will revitalize this area of downtown.*

Staff recommends approval.

<b>Planning Department Recommendation:</b>	
<input checked="" type="checkbox"/>	<b>Approve as submitted</b>
<input type="checkbox"/>	<b>Approve with conditions or revisions as noted</b>
<input type="checkbox"/>	<b>Alternative</b>
<input type="checkbox"/>	<b>Denial</b>

**The Commission's Responsibility:**

The Commission is required by law to hold a public hearing and receive public comment regarding the proposed zoning. After considering the public input, the Commission is charged with making an advisory recommendation to the City Council regarding the request. The City Council will ultimately decide whether to approve or deny the zoning change request. The Commission's advisory recommendation to the Council is a discretionary decision.

**Prepared by:**

Emily Koller

Planning Technician

August 7, 2012

---

**Name**

**Title**

**Date**



# Zoning Change

## ZC-12-09

### 301 N. Guadalupe St.



**Summary:** The City of San Marcos is initiating a zoning change from SmartCode - CS (Civic Space) to SmartCode – T5 (Urban Center)

**Agent:** City of San Marcos  
 Development Services - Planning  
 630 E. Hopkins  
 San Marcos, TX 78666

**Owner:** US Government  
 US Postal Service  
 301 N. Guadalupe St.  
 San Marcos, TX 78666

**Notification:** Personal notifications of the public hearing were mailed on Friday, August 3, 2012 to all property owners within 200 feet of the subject property as well as the CONA Representatives and the Sector 8 Neighborhood Commissioner. Notification signs were also placed on site.

**Response:** None.

**Property/Area Profile:**

**Legal Description:** Original Town of San Marcos Lots 1, 2 and Part of Lot 8, Block 25 and Part Farm Lot 22

**Location:** 301 N Guadalupe St.

**Existing Use of Property:** US Post Office

**Proposed Use of Property:** N/A

**Future Land Use Map:** N/A

**Existing Zoning:** SmartCode-CS (Civic Space)

**Proposed Zoning:** SmartCode-T5 (Urban Center)

**Sector:** 8

**Area Zoning and Land Use Pattern:**

	Zoning	Existing Land Use	Future Land Use
N of Property	T5	Commercial	
S of Property	T4	Commercial	
E of Property	CS	Commercial	
W of Property	T5	Public/Commercial	

**Comments from other Departments:**

None received.

**Background Information:**

The City of San Marcos is initiating a zoning change from SmartCode-CS (Civic Space) to SmartCode-T5 (Urban Center). The property is located within the Downtown SmartCode area and is the current US Post Office. It is approximately .935 acres and is currently for sale. Once sold, the Postal Service will move all services to Carrier Annex at 201 S. Stagecoach Trail.

**Planning Department Analysis**

As a government building, the subject property was zoned SmartCode-CS (Civic Space) when the SmartCode was implemented in 2010.

The existing zoning does not allow for redevelopment of the property; under its current classification as Civic Space the only permitted use is a permanent outdoor area or continued use in the existing building for a not-for-profit organization or public institution.

The SmartCode requires dedication of property for public use, either as Civic Space (CS) or Civic Building (CB) within the Transects – and specifically each pedestrian shed within T3, T4 and T5 must assign 5% of its urbanized area to Civic Space. Civic Space is defined as an outdoor area permanently dedicated for public use including a park, square, green, plaza, playground or community garden. A Civic Building is defined as a building operated by not-for-profit organizations dedicated to arts, culture, education, recreation, government and transit or for municipal parking.

This property is bordered on all sides by existing SmartCode zoning. Its classification as CS was the result of the prior use as a government building, not as a key site for public outdoor space. Staff believes that rezoning the property to T5 is more consistent with the policies and intent of the SmartCode. Guadalupe St. is identified as a primary street in the Downtown Master Plan. As such, higher density mixed uses are encouraged especially in close proximity to Courthouse Square and Texas State University. Staff feels the character of T5 (Urban Center) is the appropriate land use intensity for this large parcel. (There is no Future Land Use Designation for the SmartCode area).

Evaluation			Criteria (LDC 1.5.1.5)
Consistent	Inconsistent	Neutral	
X			<p>Change implements the policies of the adopted Master Plan, including the land use classification on the Future Land Use Map and any incorporated sector plan maps</p> <p><i>The change is consistent with the Downtown Master Plan which identifies Guadalupe as a primary street where, retail, office and residential should be concentrated. There is no Future Land Use Map designation for the SmartCode area.</i></p>
		X	<p>Consistency with any development agreement in effect</p> <p><i>No development agreements exist on this tract</i></p>

Evaluation			Criteria (LDC 1.5.1.5)
Consistent	Inconsistent	Neutral	
X			<p>Whether the uses permitted by the proposed change and the standards applicable to such uses will be appropriate in the immediate area of the land to be reclassified.</p> <p><i>The uses permitted by the rezoning are more appropriate for the area than existing CS.</i></p>
		X	<p>Whether the proposed change is in accord with any existing or proposed plans for providing public schools, streets, water supply, sanitary sewers, and other public services and utilities to the area.</p> <p><i>The property is currently served with City water and wastewater. There are no Capital Improvement Plan projects anticipated in the immediate area.</i></p>
		X	<p>Other factors which substantially affect the public health, safety, morals, or general welfare.</p>

Additionally, the Commission should consider:

- (1) Is the property suitable for use as presently zoned?

*Staff evaluation: No, as zoned presently, the only permitted use is for outdoor permanent public space or a not-for-profit/government building.*

- (2) Has there been a substantial change of conditions in the neighborhood surrounding the subject property?

*Staff evaluation: No, the surrounding neighborhood has been and remains a mix of office, commercial, residential and public/institutional uses.*

- (3) Will the proposed rezoning address a substantial unmet public need?

*Staff evaluation: This would not address a substantial unmet need. However, the proposed rezoning would allow for the property use to be more consistent with the intent of the SmartCode.*

- (4) Will the proposed rezoning confer a special benefit on the landowner/developer and cause a substantial detriment to the surrounding lands?

*Staff evaluation: No, there is no special benefit to the landowner because a rezoning would make the property consistent with those surrounding it. The Postal Service wants to sell the building and without rezoning the tract, it is undesirable for sale and redevelopment.*

- (5) Will the proposed rezoning serve a substantial public purpose?

*Staff evaluation: Without the change, the property may become vacant and underutilized. Redevelopment consistent with the SmartCode will add to the pedestrian experience in a highly trafficked part of downtown.*

Staff recommends approval.

<b>Planning Department Recommendation:</b>	
<input checked="" type="checkbox"/>	<b>Approve as submitted</b>
<input type="checkbox"/>	<b>Approve with conditions or revisions as noted</b>
<input type="checkbox"/>	<b>Alternative</b>
<input type="checkbox"/>	<b>Denial</b>

**The Commission's Responsibility:**

The Commission is required by law to hold a public hearing and receive public comment regarding the proposed zoning. After considering the public input, the Commission is charged with making an advisory recommendation to the City Council regarding the request. The City Council will ultimately decide whether to approve or deny the zoning change request. The Commission's advisory recommendation to the Council is a discretionary decision.

**Prepared by:**

Emily Koller

Planning Technician

August 7, 2012

**Name**

**Title**

**Date**



# MEMO

**To:** Planning and Zoning Commission  
**From:** John Stanley, Planner  
**Date:** August 7, 2012  
**Re:** LDC Revisions - LDC-12-12

---

This amendment allows the addition of a performance bond as an authorized form of security for completion of public improvements as required for subdivisions or developments. This will allow for another means of security for the developer and the city to enter into which encourages timely and efficient completion of public improvements.

**LDC-12-12 - An amendment to Section 1.6.6.4 of the City's Land Development Code to add a performance bond as an authorized form of security for completion of public improvements required to serve a subdivision or development.**

- A performance bond will be added as an authorized form of security under Section 1.6.6.4 of the Land Development Code.

## Next Steps

Staff is proposing the following schedule for adoption:

- August 7th
  - P&Z discussion and action
- September 4th
  - City Council Public Hearing and action
- September 18th
  - City Council Reconsideration (if necessary)

#### Section 1.6.6.4 - Security for Completion of Improvements

(a) *Security.* Whenever the obligation to install public improvements to serve a subdivision or development is deferred until after approval of the Final Subdivision Plat or Final Development Plat, the property owner shall provide sufficient security to ensure completion of the required public improvements. The security shall be in the form of one of the following:

- (1) A cash escrow with the City;
- (2) An irrevocable letter of credit drawn upon a state or national bank that has a regular business office in the State of Texas that (A) is of a term sufficient to cover the completion, maintenance and warranty periods, but not less than two years and (B) authorizes the City to draw upon the letter of credit by presenting to the issuer only a sight draft and a certificate signed by an authorized representative of the City attesting to the City's right to draw funds under the letter of credit;
- (3) A construction funding agreement under which funds for the construction of the required improvements are escrowed in Texas with an office of a state or national bank, under which (A) the City has the irrevocable right to withdraw funds, and (B) the subdivider may be permitted to draw funds to make payments towards the construction of the improvements as progress is verified; ~~or~~
- (4) A first and prior lien on the property; or
- (5) A performance bond submitted to the City by a surety company holding a license to do business in the State of Texas and providing a date for completion of the required public improvements.

(b) *Amount and Acceptability.* The security shall be issued in the amount of 125% of the cost estimate approved by the Engineering Director for all public improvements associated with the subdivision. The security shall be subject to the approval of the City Attorney.



# MEMO

**TO: PLANNING AND ZONING COMMISSION**  
**FROM:** John Foreman, Planning Manager  
**THROUGH: MATTHEW LEWIS, DIRECTOR OF DEVELOPMENT SERVICES**  
**DATE:** August 7, 2012  
**RE: Downtown Architectural Standards**

---

As part of the ordinance approving the Downtown SmartCode, City Council directed staff to work with Winter & Company to draft architectural standards within one year of adoption. The draft revisions are attached.

The revisions are the result of the numerous public workshops described below. The draft standards are contained in a new Article 6. Key elements of design are addressed such as height, horizontal and vertical expression, articulation, windows, and massing. To ensure flexibility, each requirement is provided with a menu of choices. These elements were identified as significant through the public workshops.

Signage has been removed from Article 5 and reinserted in Article 7. The SmartCode as adopted allows only a 3 foot tall sign band and a small "blade" sign (a sign that hangs over the sidewalk from an awning). A number of additional sign types have been allowed, including awning/canopy signs, projecting signs, hanging signs, and projecting signs. In areas outside of the immediate square, the revisions allow for pedestrian scaled freestanding signs, either as pole or monument signs. As with the design standards, the revised code provides a menu of choices of sign types. A visual dictionary of these sign types has been added.

Other code revisions include the inclusion of a reference to lighting standard details and the requirement that new lights be LED along with editorial changes such as renumbering Article 6, Definitions, to Article 8.

To help staff and the Planning and Zoning Commission administer the code, Design Guidelines have been drafted. These are meant to be used in evaluating requests for Warrants and where the code allows for some variations from the standards. The Guidelines are a useful tool that outline the intent of the code and provide guidance to the Commission and staff to ensure that the intent is met. They also include the standard details for lighting referenced in the code.

Below is a timeline for the Downtown Architectural Design Standards.

## **2011**

- April 12 – Planning and Zoning Commission votes to approve the request to rezone Downtown to SmartCode
- April 19 – Ordinance 2011-17 approved by City Council establishing the Downtown SmartCode
- May – June – Discussions between staff and Winter & Company, scope outlined

- July 2011 – Contract drafted
- September 12 – Letter of Agreement to enter into contract with Winter & Company signed by Noré Winter
- October 18 – **Public Meeting #1**; two workshops (one afternoon session and one evening session), design concepts are introduced, models of base SmartCode are shown, subareas of the downtown are defined
- November – December – Design elements modeled based on input received

## 2012

- January 25 – **Public Meeting #2**; again, two workshops (one afternoon session and one evening session). Design elements presented for public comment and sign types are introduced
- February – March – Winter & Company draft Design Standards based on input received
- May 3 – **Public Meeting #3** again, two workshops (one afternoon session and one evening session). Winter & Company and staff present draft outline of standards, take comments and ask participants to identify appropriate sign types by location
- May-Current – Winter & Company work with staff to draft final standards



**ARTICLE 3. COMMUNITY PLANS**

San Marcos, Texas

**TABLE 3.6. PUBLIC LIGHTING**

Lighting varies in brightness and also in the character of the fixture according to the Transect. LED or similar efficiency is recommended. lighting is required. See Design Guidelines for standard details.

	T1	T2	T3	T4	T5	SD	Specifications
<b>Cobra Head</b> 	•					•	<u>Cobra Head Standard Detail</u> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/>
<b>Pipe</b> 	•	•	•				<u>Post Roadway Standard Detail</u> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/>
<b>Post</b> 		•	•	•			<u>Post Pendant Standard Detail</u> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/>
<b>Column</b> 			•	•	•		<u>Antique Single Standard Detail (required downtown)</u> <u>Modern Single Standard Detail</u> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/>
<b>Double Column</b> 					•		<u>Antique Double Standard Detail (required downtown)</u> <u>Modern Double Standard Detail</u> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/>

**DRAFT**  
SUBJECT TO CHANGE

ARTICLE 6. DESIGN STANDARDS

**DRAFT**  
SUBJECT TO CHANGE

6.1. INSTRUCTIONS

6.1.1. Applicability

- a. Lots and buildings located within downtown San Marcos and governed by this Code shall be subject to the requirements of this Article.

6.2. CONTEXTUAL HEIGHT STEP DOWN REQUIREMENT

6.2.1. SPECIFIC TO ZONES T4, T5

- a. A step down in height is required for all buildings adjacent to a Sensitive Site.
- b. A maximum height of three stories is permitted within 25 feet of a side property line adjoining a Sensitive Site.
- c. A maximum height of three stories is permitted within 12 feet of a front property line across the street from a Sensitive Site.

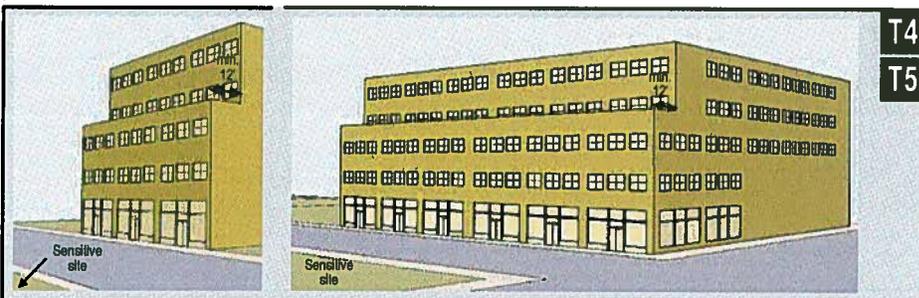
**TABLE 6.1 CONTEXTUAL HEIGHT STEP DOWN**

The following table illustrates the two contextual height step down requirements.

**a. Side adjacency:** A maximum height of three stories is permitted within 25 ft. of a side property line adjoining a Sensitive Site.



**b. Across street:** A maximum height of three stories is permitted within 12 ft. of a front property line across the street from a Sensitive Site.



# ARTICLE 6. BUILDING DESIGN

## 6.3. EXPRESSION REQUIREMENTS

### 6.3.1. SPECIFIC TO ZONES T4, T5

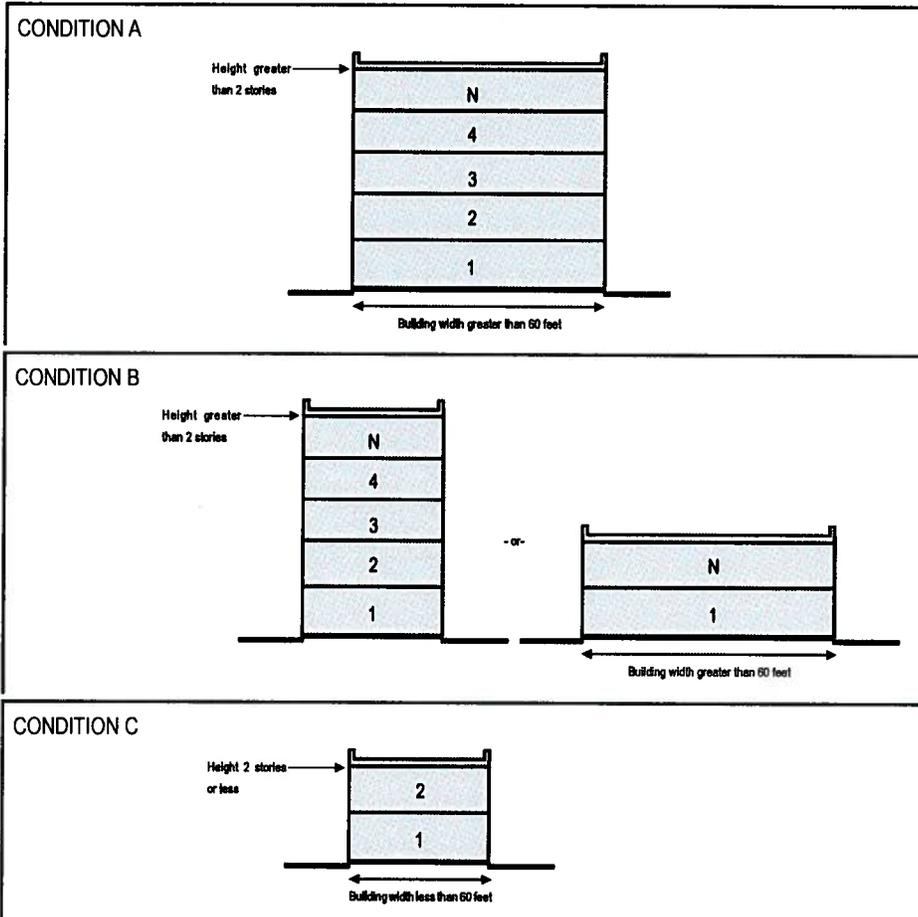
6.3.2. A minimum number of expression tools shall be applied as specified below and in Tables 6.2 and 6.3, and as illustrated in Table 6.4.

- a. Condition A, buildings with a facade width greater than 60 feet and a height greater than 2 stories:
  - i. A minimum of two horizontal expression tools is required.
  - ii. At least one vertical expression tool is required.
- b. Condition B, buildings with a facade width greater than 60 feet or a height greater than 2 stories:
  - i. A minimum of three expression tools shall be used.
- c. Condition C, buildings with a facade width of 60 feet or less and a height of 2 stories or less:
  - i. A minimum of two expression tools shall be used.

6.3.3. Any combinations of the wall notch, wall offset and vertical expression line alternatives shall count as only one expression alternative.

6.3.4. Vertical expressions shall be applied across the entire height of the facade.

**TABLE 6.2 EXPRESSION REQUIREMENT CONDITIONS**

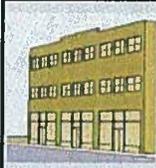
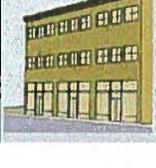


**TABLE 6.3 EXPRESSION REQUIREMENTS**

The following table outlines the expression tool requirements based on building facade width and height.

CONDITION A		CONDITION B	CONDITION C
Facade width > 60 ft. and building height > 2 stories		Facade width > 60 ft. or building height > 2 stories	Facade width ≤ 60 ft. and building height ≤ 2 stories
Select a minimum of two alternatives	Select a minimum of one alternative	Select a minimum of three alternatives	Select a minimum of two alternatives

Horizontal Expression Tools

<p>a. <b>Varied Parapet Height*</b>: An offset in parapet height of at least 2 ft. at a minimum of every 60 ft. in building width.</p> <p>*The varied parapet height tool provides both horizontal and vertical articulation</p>		T4 T5				
<p>b. <b>Canopy</b>: Canopies or awnings which run across the full width of fenestrations on the first floor facade.</p>		T4 T5				
<p>c. <b>Second Floor Expression Line</b>: A line prescribed at a certain level of a building for the major part of the width of a facade, expressed by a variation in material or by a limited projection such as a molding or balcony.</p>		T4				
<p>d. <b>Cornice</b>: A cornice detail of at least 18 in. height and 6" in depth for the entire width of the front facade.</p>		T4 T5				

Vertical Expression Tools

<p>e. <b>Wall Notch</b>: A front facade setback of a minimum depth of 4 ft. and length of 8 ft. at a minimum interval of every 60 ft. across the building frontage.</p>		T4 T5				
<p>f. <b>Vertical Expression Line</b>: A vertical line expressed by a substantial change in material or vertical molding with a minimum size of at least 4 in. depth and 12 in. width, at a minimum interval of every 60 ft. across the building facade.</p>		T4 T5				
<p>g. <b>Wall Offset</b>: Facade modules of a maximum length of 60 ft. with a minimum of a 4 ft. offset from an adjacent module.</p>		T4 T5				

**TABLE 6.4 EXPRESSION TOOLS**

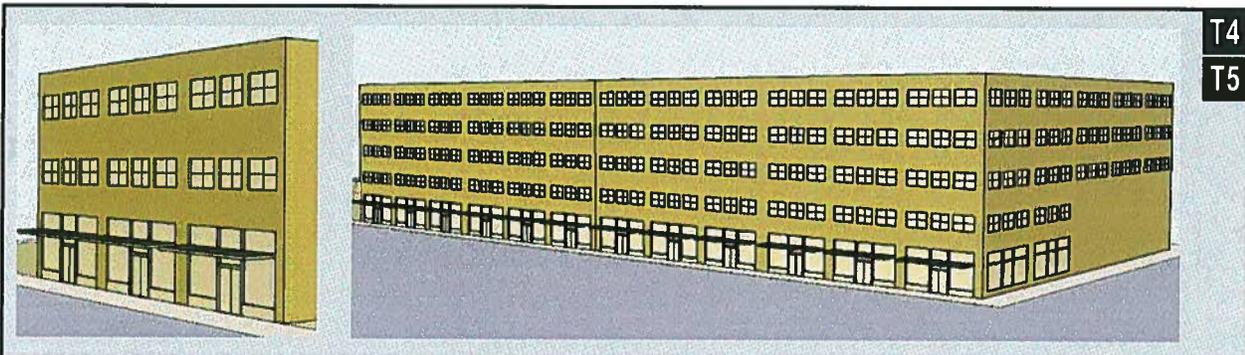
The following table illustrates the alternative expression tools.

Vertical Expression Tools

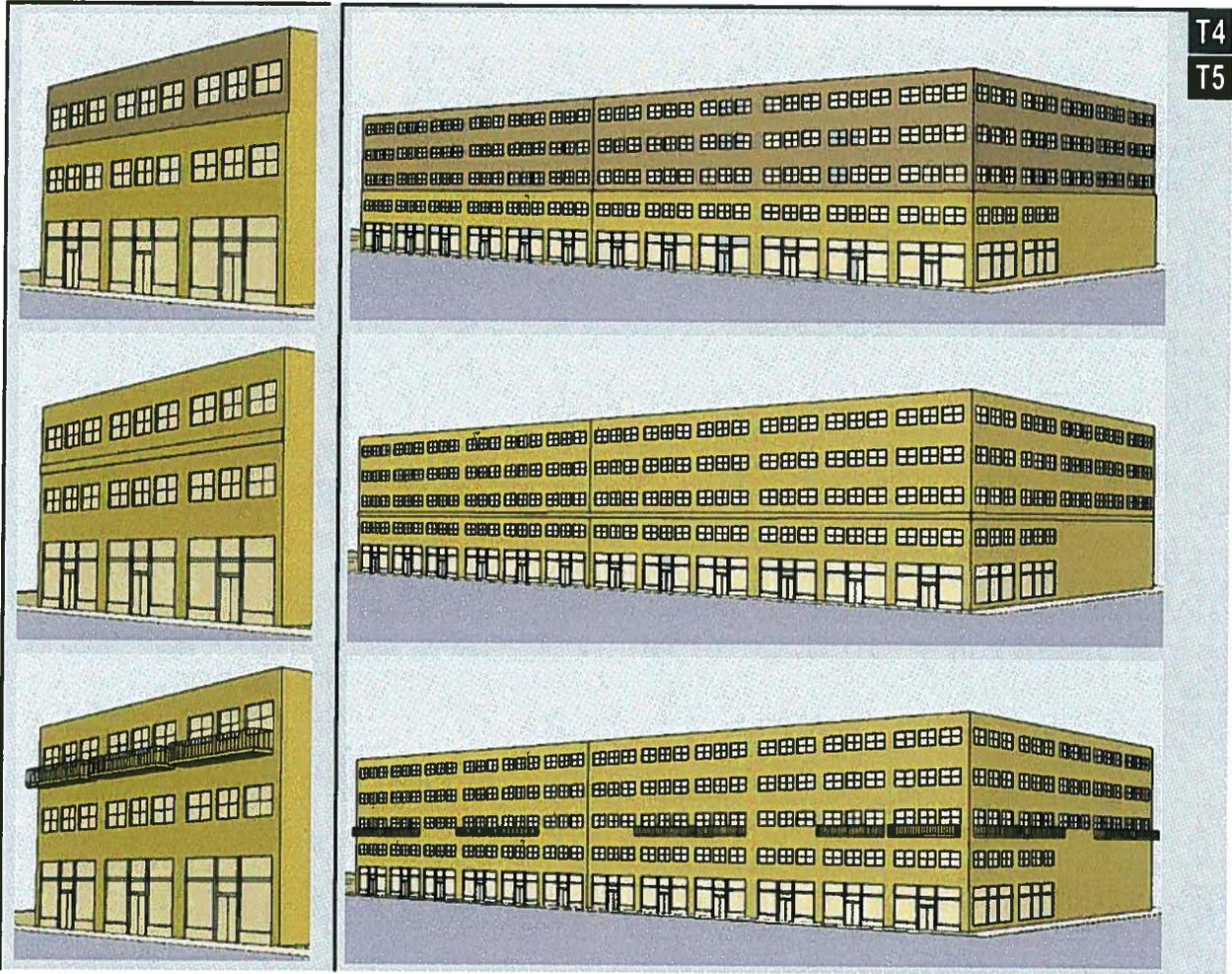
**a. Varied Parapet Height:** An offset in parapet height of at least 2 ft. spaced at a minimum of every 60 ft. across the building frontage.



**b. Canopy:** Canopies or awnings which run across the full width of fenestrations on the first floor facade.



c. **Second Floor Expression Line:** A line prescribed at a certain level of a building for the major part of the width of a facade, expressed by a variation in material or by a limited projection such as a molding or balcony.



d. **Cornice:** A cornice detail of at least 18 in. height and 6 in. in depth for the entire width of the frontage



# ARTICLE 6. BUILDING DESIGN

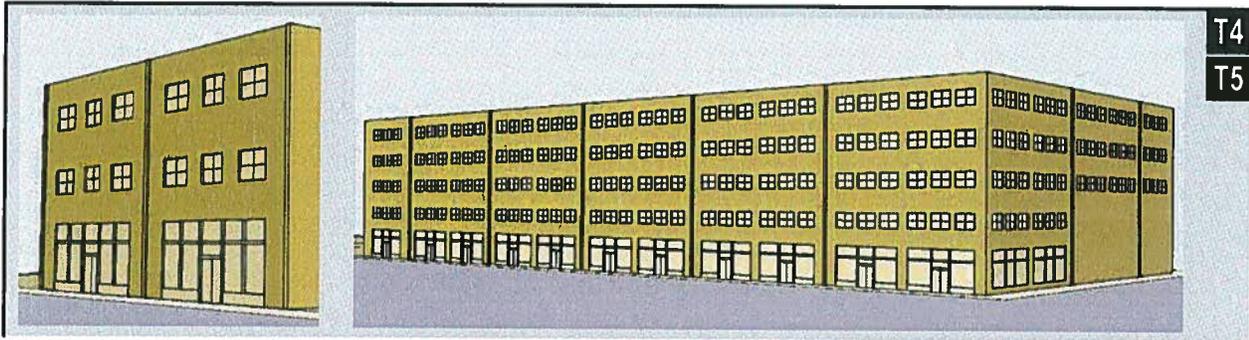
San Marcos, Texas

## Vertical Expression Tools

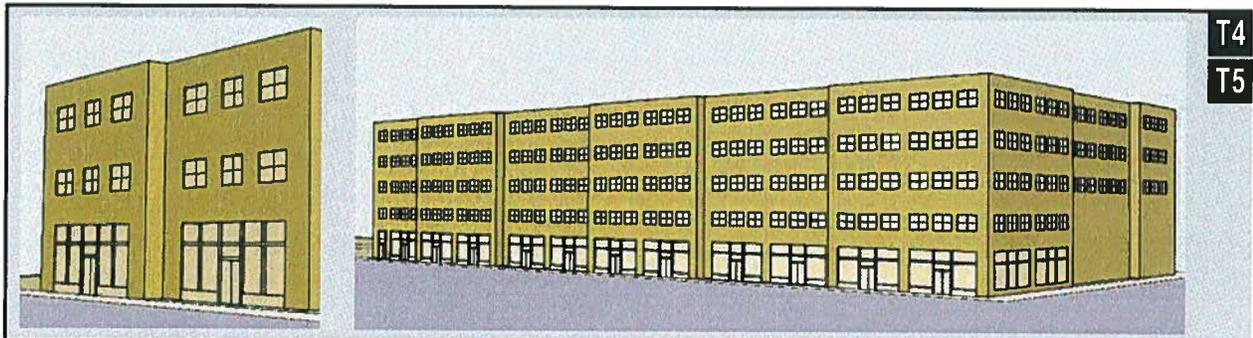
**e. Wall Notch:** A front facade setback of a minimum depth of 4 ft. and length of 8 ft. spaced at a minimum interval of every 60 ft. across the building frontage.



**f. Vertical Expression Line:** A vertical line at a minimum interval of every 60 ft. across the building frontage. This may be expressed by a substantial change in material or a vertical molding with a minimum size of at least 4 in. depth and 12 in. width.



**g. Wall Offset:** Facade modules of a maximum length of 60 ft. with a minimum of a 4 ft. offset from an adjacent module.



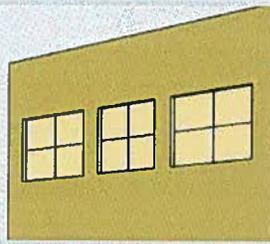
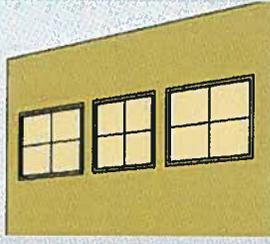
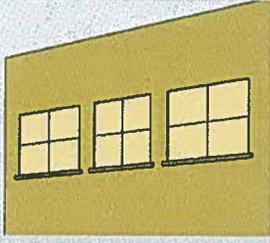
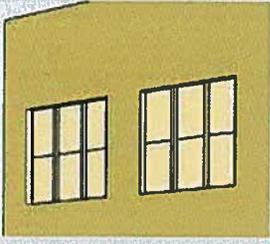
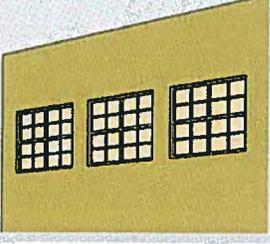
**6.4. UPPER FLOOR WINDOW DESIGN REQUIREMENTS**

**6.4.1. SPECIFIC TO ZONES T4, T5**

- a. Each principal frontage shall use a minimum of one upper floor window design alternative as specified in Table 6.5 and illustrated in Table 6.6.

**TABLE 6.5 UPPER FLOOR WINDOW DESIGN REQUIREMENTS**

The following table outlines the window design requirement.

		Select a minimum of one upper floor window design alternative	
<p>a. <b>Window Inset:</b> The window pane is inset a minimum of 3 in. behind the surface of the wall.</p>		<p>T4 T5</p>	
<p>b. <b>Window Frame:</b> Each window opening is framed with trim that is a minimum of 1 in. depth and 2 in. width.</p>		<p>T4 T5</p>	
<p>c. <b>Window Sill:</b> Each window opening is defined by a sill, which extends a minimum of 2 in. from the wall surface, with a height of 3 in. and runs a minimum width equal to each window.</p>		<p>T4 T5</p>	
<p>d. <b>Traditional Vertical Proportions:</b> The window is proportioned similar to that of traditional buildings, with a height to width ratio of between 1.75:1 and 2.5:1. Traditionally proportioned windows may be "ganged" to create larger fenestration areas where the dividers between the windows have a depth of at least 2" and project at least 2" in front of the surface of the glass.</p>		<p>T4 T5</p>	
<p>e. <b>True Divided Lights:</b> Windows shall use true muntins.</p>		<p>T4 T5</p>	

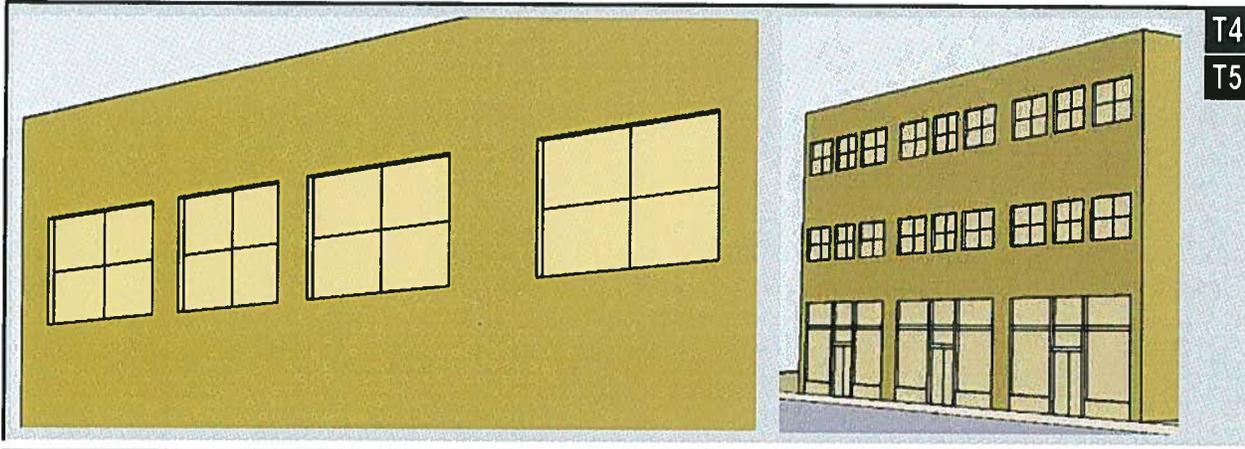
# ARTICLE 6. BUILDING DESIGN

San Marcos, Texas

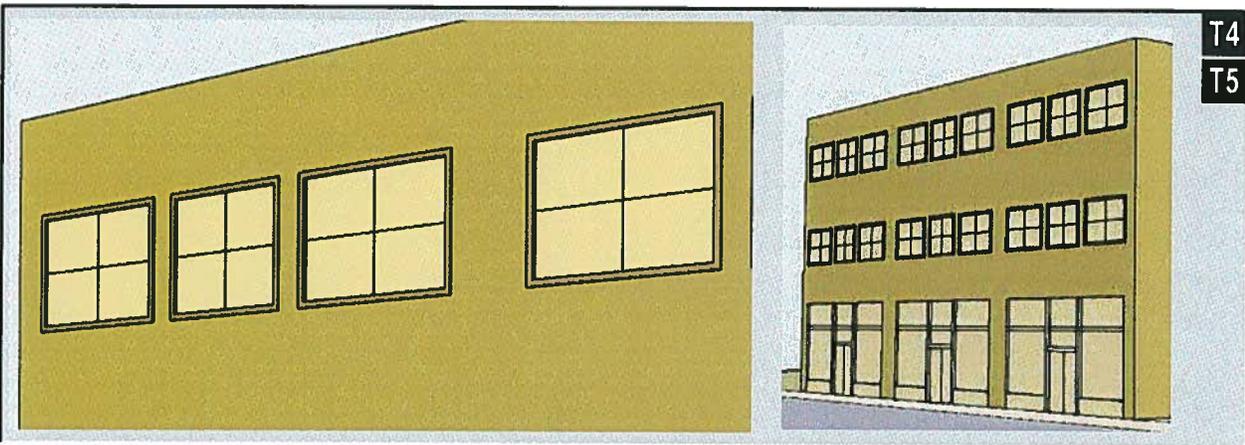
### TABLE 6.6 UPPER FLOOR WINDOW DESIGN ALTERNATIVE TOOLS

The following table illustrates the alternative window design tools.

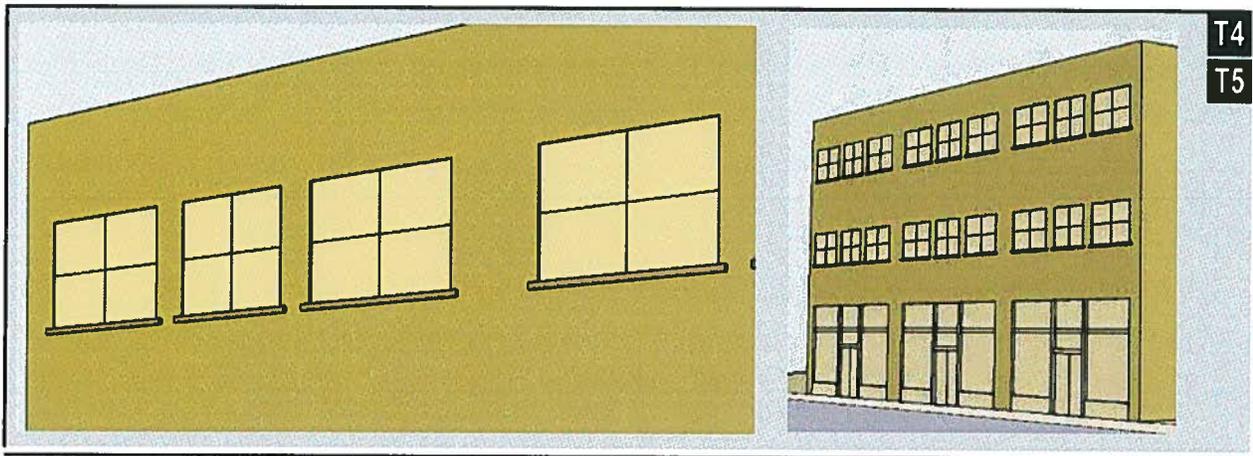
**a. Window Inset:** The window pane shall be inset a minimum of 3 in. behind the surface of the wall.



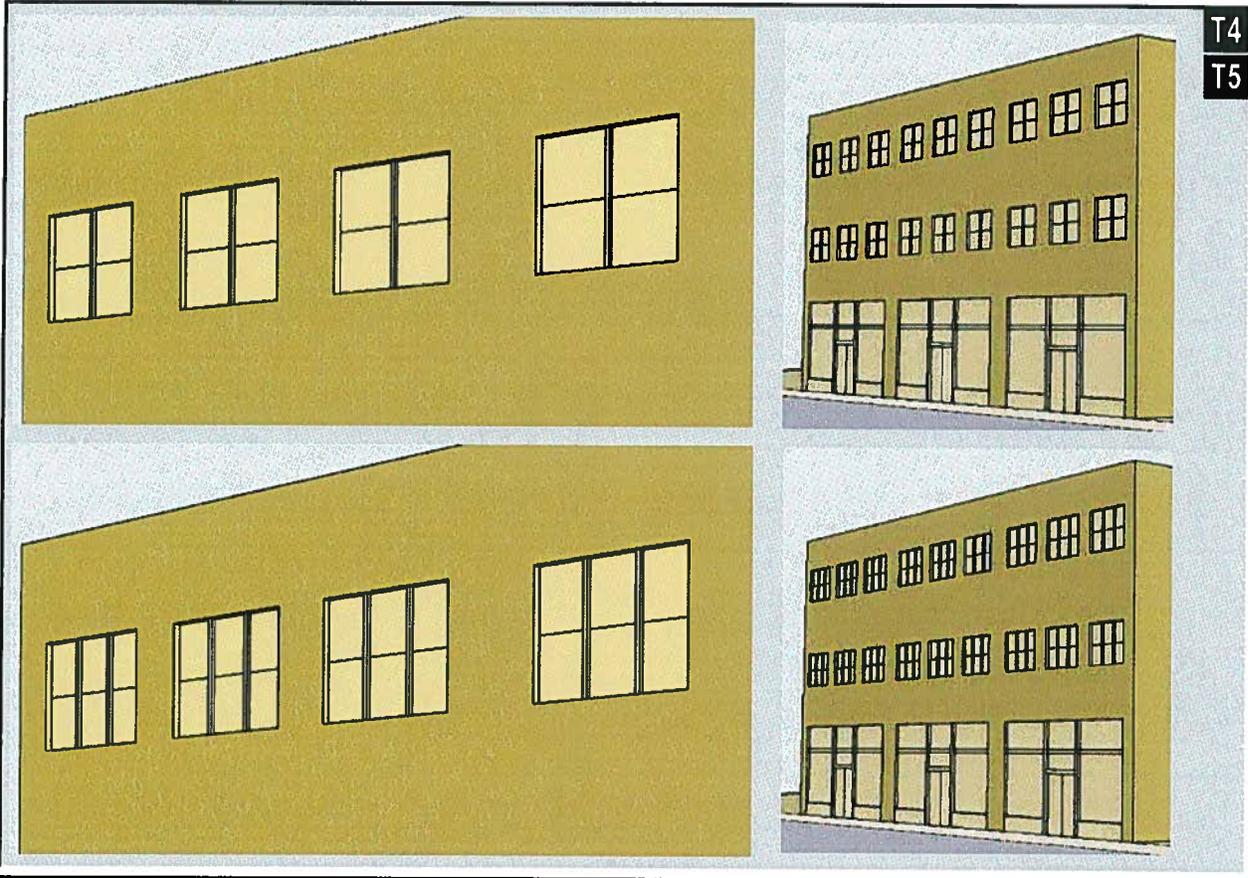
**b. Window Frame:** Each window opening shall be framed with trim that is a minimum dimension of 1 in. depth and 2 in. width.



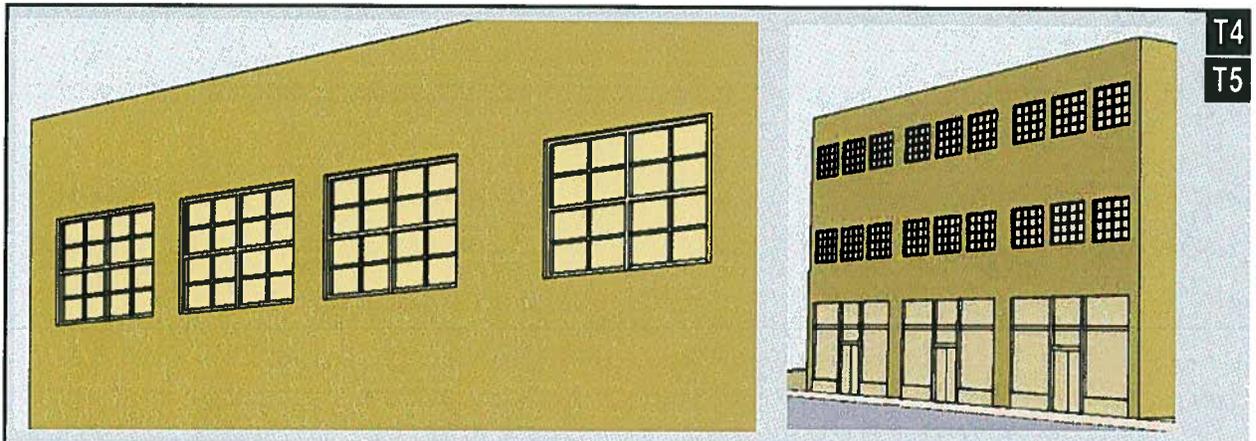
**c. Window Sill:** Each window opening shall be defined by a sill, which extends a minimum of 2 in. from the wall surface, with a height of 3 in. and a minimum width equal to that of each window.



d. **Traditional Proportions:** The window shall have a height to width ratio of between 1.75:1 and 2.5:1. Traditionally proportioned windows may be "ganged" to create larger fenestration areas where the dividers between the windows have a depth of at least 2 in. and project at least 2 in. in front of the surface of the glass.



e. **True Divided Lights:** Windows shall use true muntins.



# ARTICLE 6. BUILDING DESIGN

San Marcos, Texas

## 6.5. VARIED UPPER FLOOR MASSING REQUIREMENT

- 6.5.1. Buildings over three stories in height with a frontage of 60 feet or greater shall provide variety in the upper floor massing. Select one alternative as specified below and in Table 6.7.
  - a. A minimum of 40% of the building facade over three stories in height shall be set back a minimum of 20 feet from the front building wall, or
  - b. A minimum of 50% of the building facade over three stories in height shall be set back a minimum of 15 feet from the front building wall.
- 6.5.2. The Development Review Committee may administratively approve exceptions to the upper floor massing requirement provided they meet the criteria established in the Downtown Design Guidelines.

**TABLE 6.7 VARIED UPPER FLOOR MASSING ALTERNATIVES**

This table illustrates the varied upper floor massing alternatives.

Select one alternative

Varied Upper Floor Massing Alternatives		
<p>a. A minimum of 40% of the building facade over three stories in height shall be set back a minimum of 20 ft. from the front building wall.</p>		<p>T4 T5</p>
<p>b. A minimum of 50% of the building facade over three stories in height shall be set back a minimum of 15 ft. from the front building wall.</p>		<p>T4 T5</p>



**DRAFT**  
SUBJECT TO CHANGE

**ARTICLE 7. SIGN STANDARDS**

**7.1. INSTRUCTIONS**

**7.1.1. Applicability**

- a. Lots, buildings, and signs located within downtown or new community plan areas governed by this Code shall be subject to the requirements of this Article.
- b. Sign permits shall be required as prescribed in 1.9.5.1 of the Land Development Code.

**7.2. IN GENERAL**

**7.2.1. GENERAL TO ZONES T3, T4, T5**

- a. There shall be no signage permitted additional to that specified in this section.
- b. The address number, no more than 6 inches measured vertically, shall be attached to the building in proximity to the Principal Entrance or at a mailbox.
- c. Shopfront window signage may be up to 30% of the window area and may be neon or LED lit.

**7.2.2. SPECIFIC TO ZONES T2, T3**

- a. One projecting sign for each business may be permanently installed perpendicular to the Facade within the first Layer. Such a sign shall not exceed a total of 4 square feet and shall clear 8 feet above the sidewalk.

**7.2.3. SPECIFIC TO ZONES T4, T5**

- a. Basic sign types permitted include awning or canopy signs, projecting signs, hanging signs, sandwich boards, and wall signs.
- b. Special Sign Types permitted include directory signs, monument signs, and pole signs.

**7.2.4. ILLUMINATION**

**a. SPECIFIC TO ZONES T2, T3**

- i. Signage shall not be illuminated.

**b. SPECIFIC TO ZONES T4, T5**

- i. Signage shall be externally illuminated, except as follows:
- ii. Signage within the Shopfront glazing may be neon or LED lit.
- iii. Neon and halo illumination may be considered with approval of the DRC provided it meets the criteria established in the Downtown Design Guidelines.

**7.2.5. DIRECTORY SIGNS**

**a. GENERAL TO ALL ZONES T4, T5**

- i. One directory sign is permitted at each street-level entrance to upper-floor businesses.
- ii. The area of a directory sign shall not exceed 6 square feet.
- iii. The sign shall be no taller than 3 feet.

## **ARTICLE 7. SIGN STANDARDS**

---

San Marcos, Texas

### **7.3. BASIC SIGN TYPES**

#### **7.3.1. GENERAL TO ALL BASIC SIGN TYPES**

- a. 3 of the 5 basic sign types may be used per building facade.

#### **7.3.2. AWNING OR CANOPY SIGN**

##### **a. GENERAL TO ALL ZONES T4, T5**

- i. One awning or canopy sign is permitted per business.
- ii. The sign may be placed on either the vertical valance flap, the sloped portion, or on a side panel of the awning or canopy.
- iii. The sign shall not extend below or above the awning or canopy to which it is attached.

##### **b. SPECIFIC TO ZONE T4**

- i. An awning or canopy sign shall not exceed 2 feet in height.
- ii. An awning or canopy sign shall not exceed 10 feet in length.

##### **c. SPECIFIC TO ZONE T5**

- i. An awning or canopy sign shall not exceed 3 feet in height.
- ii. An awning or canopy sign shall not exceed 12 feet in length.

#### **7.3.3. PROJECTING SIGN**

##### **a. GENERAL TO ALL ZONES T4, T5**

- i. One projecting sign is permitted per business.
- ii. Sign area shall not exceed 6 square feet for each projecting sign.
- iii. A projecting sign must maintain a minimum 8 foot clearance above the sidewalk or finished ground surface below the sign.
- iv. A projecting sign may be attached to the building facade.
- v. A projecting sign may not extend above the roof of the structure to which it is attached.

#### **7.3.4. HANGING SIGN**

##### **a. GENERAL TO ALL ZONES T4, T5**

- i. One hanging sign is permitted per business.
- ii. A hanging sign must maintain a minimum 8 foot clearance above the sidewalk or finished ground surface below the sign.
- iii. Sign area shall not exceed 6 square feet for each hanging sign.

**7.3.5. SANDWICH BOARD SIGN**

**a. GENERAL TO ALL ZONES T4, T5**

- i. One sandwich board sign is permitted per business.
- ii. The area of each face of a sandwich board shall not exceed 12 square feet.
- iii. The overall sign shall be no taller than 4 feet.
- iv. A sandwich board within the public right-of-way must be placed such that at least an 8 foot unobstructed sidewalk width remains.
- v. Sandwich boards shall be designed to allow folding.
- vi. A sandwich board must have a stable base.
- vii. Sandwich boards shall be removed at the close of business each day.

**7.3.6. WALL SIGN**

**a. GENERAL TO ALL ZONES T4, T5**

- i. One wall sign is permitted per business.
- ii. A wall sign may be attached flat to the wall.

**b. SPECIFIC TO ZONE T4**

- i. A Wall Sign shall not exceed 2 feet in height.
- ii. A Wall Sign shall not exceed 10 feet in length.

**c. SPECIFIC TO ZONE T5**

- i. A Wall Sign shall not exceed 3 feet in height.
- ii. A Wall Sign shall not exceed 12 feet in length.

### 7.4. SPECIAL SIGN TYPES

#### 7.4.1. GENERAL TO ALL SPECIAL SIGN TYPES

- a. Where permitted, either one monument sign or one pole sign may be used per property.
- b. **GENERAL TO ALL ZONES T4, T5**
  - i. Monument or pole signs are permitted only on S. L B J Dr. and S. Guadalupe St. between E. Grove St. and I-35 Frontage St.
  - ii. The Development Review Committee may administratively approve a monument or pole sign in other areas provided it meets the criteria established in the Downtown Design Guidelines.
  - iii. A monument or pole sign shall be located within the first Layer.

#### 7.4.2. Monument Signs

##### a. GENERAL TO ALL ZONES T4, T5

- i. Monument signs shall incorporate a supporting base that is at least 75 percent of the width of the sign face at its widest point. The supporting base shall be constructed of brick, stone, masonry or scored concrete.

##### b. SPECIFIC TO ZONE T4

- i. Sign area shall not exceed 12 square feet.
- ii. Sign height shall not exceed 4 feet.

##### c. SPECIFIC TO ZONE T5

- i. Sign area shall not exceed 18 square feet.
- ii. Sign height shall not exceed 6 feet.

#### 7.4.3. Pole Sign

##### a. SPECIFIC TO ZONE T4

- i. Sign area shall not exceed 12 square feet.
- ii. Sign height shall not exceed 6 feet.

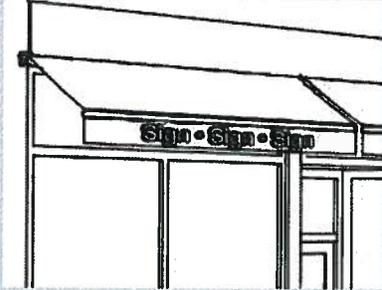
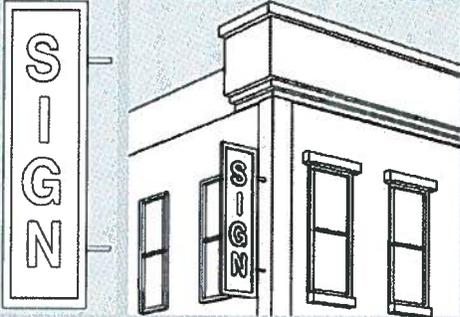
##### b. SPECIFIC TO ZONE T5

- i. Sign area shall not exceed 18 square feet.
- ii. Sign height shall not exceed 10 feet.

**TABLE 7.1 SIGN TYPES**

This table illustrates both the basic and special sign types permitted.

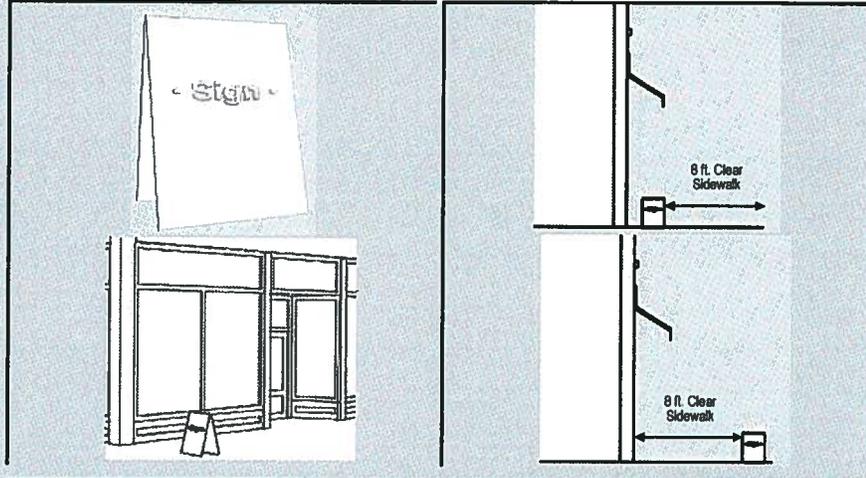
Basic Sign Types

<p><b>Awning or Canopy Sign:</b> A sign painted on or attached flat or flush against the surface of an awning or canopy.</p>	 <p>A line drawing of a building facade featuring a large awning over a set of glass doors. The sign 'Sign • Sign • Sign' is mounted flat against the underside of the awning.</p>
<p><b>Projecting Sign:</b> A sign that is attached directly to the building wall and which extends out from the face of the wall.</p>	 <p>A line drawing of a building corner with several windows. Two vertical signs are attached to the building walls, extending outwards. One sign is on the left wall and another is on the right wall, both displaying the word 'SIGN' vertically.</p>
<p><b>Hanging Sign:</b> A sign that is hanging or suspended (such as as by chains or hooks) below a canopy, awning, or building overhang.</p>	 <p>A line drawing of a building facade with a canopy over a set of glass doors. A rectangular sign with the word 'Sign' and dots on either side is suspended by two chains from the bottom edge of the canopy.</p>

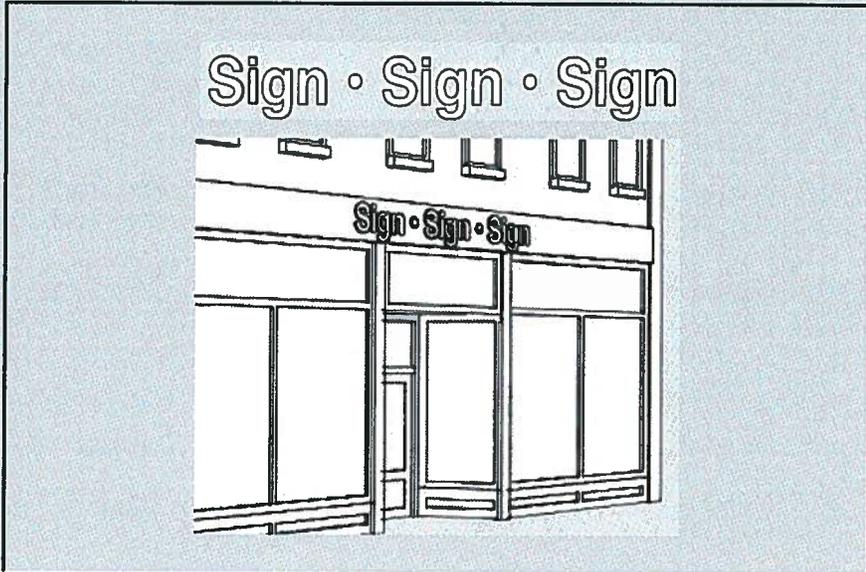
# ARTICLE 7. SIGN STANDARDS

San Marcos, Texas

**Sandwich Board:** A portable sign designed in an A-frame or other fashion, and having back-to-back sign faces.

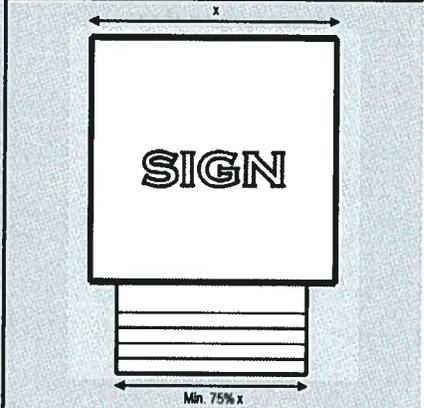
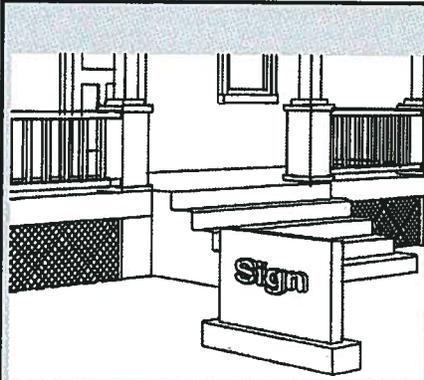


**Wall Sign:** A sign that is engraved, painted on or attached directly to and flush with the building wall.

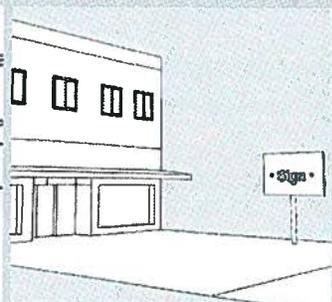
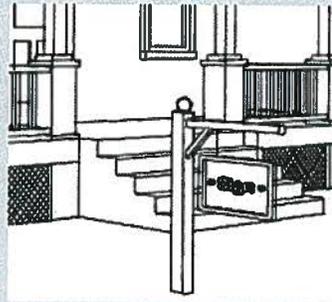


Special Sign Types

**Monument Sign:** A sign that is erected on a solid base placed directly on the ground, and that is itself constructed of a solid material.

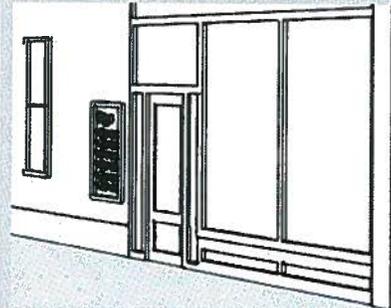


**Pole Sign:** A sign mounted on one or more freestanding supports, such as a frame, column, mast, pole or similar support such that the bottom of the sign face or lowest sign module is not in contact with the ground.



Other Sign Types

**Directory Sign:** A sign that displays the tenant name and location for a building containing multiple tenants.





**ARTICLE 6- 8. DEFINITIONS OF TERMS**

**DRAFT**  
**SUBJECT TO CHANGE**

This Article provides definitions for terms in this Code that are technical in nature or that otherwise may not reflect a common usage of the term. If a term is not defined in this Article, then the DRC shall determine the correct definition. Items in italics refer to *Articles, Sections, or Tables* in the SmartCode.

**A-Grid:** cumulatively, those Thoroughfares that by virtue of their pre-existing pedestrian-supportive qualities, or their future importance to pedestrian connectivity, are held to the highest standards prescribed by this Code. See **B-Grid**. (Syn: primary grid.)

**Access Lane:** an outer vehicular lane or lanes of a Thoroughfare, designed for slow speeds and separated from inner lanes that carry higher speed traffic.

**Accessory Building:** an Outbuilding with an Accessory Unit.

**Accessory Unit:** an Apartment not greater than 500 square feet sharing ownership and utility connections with a Principal Building; it may or may not be within an Outbuilding. See *Table 5.7 and Table 6.1*. (Syn: ancillary unit)

**Adjusted Pedestrian Shed:** a Pedestrian Shed that has been adjusted according to *Section 3.2*, creating the regulatory boundary of a Community Unit.

**Affordable Housing:** dwellings consisting of rental or for-sale units that have a rent (including utilities) or mortgage payment typically no more than 30% of the income of families earning no more than 80% of median incomes by family size for the county. (Alt. definition: rental or for-sale dwellings that are economically within the means of the starting salary of a local elementary school teacher.)

**Allée:** a regularly spaced and aligned row of trees usually planted along a Thoroughfare or Path.

**Apartment:** a Residential unit sharing a building and a Lot with other units and/or uses; may be for rent, or for sale as a condominium.

**Attic:** the interior part of a building contained within a pitched roof structure.

**Avenue (AV):** a Thoroughfare of high vehicular capacity and low to moderate speed, acting as a short distance connector between urban centers, and usually equipped with a landscaped median.

**B-Grid:** cumulatively, those Thoroughfares that by virtue of their use, location, or absence of pre-existing pedestrian-supportive qualities, may meet a standard lower than that of the A-Grid. See **A-Grid**. (Syn: secondary grid.)

**BRT:** see Bus Rapid Transit.

**Backbuilding:** a single-story structure connecting a Principal Building to an Outbuilding. See *Table 6.1*.

**Base Residential Density:** the number of dwelling units per acre. See **Density**.

**Bed and Breakfast:** an owner-occupied Lodging type offering 1 to 5 bedrooms, permitted to serve breakfast in the mornings to guests.

**Bicycle Lane (BL):** a dedicated lane for cycling within a moderate-speed

**Rear Lane (RL):** a vehicular way located to the rear of Lots providing access to service areas, parking, and Outbuildings and containing utility easements. Rear Lanes may be paved lightly to Driveway standards. The streetscape consists of gravel or landscaped edges, has no raised Curb, and is drained by percolation.

**Rearyard Building:** a building that occupies the full Frontage Line, leaving the rear of the Lot as the sole yard. See *Table 5.1*. (Var: Rowhouse, Townhouse, Apartment House)

**Regional Center Development:** a Community type structured by a long pedestrian shed or linear shed, which may be adjoined without buffers by one or several standard pedestrian sheds, each with the individual Transect Zone requirements of a TND.

**Regulating Plan:** a Zoning Map or set of maps that shows the Transect Zones, Civic Zones, Special Districts if any, and Special Requirements if any, of areas subject to, or potentially subject to, regulation by the SmartCode.

**Residential:** characterizing premises available for long-term human dwelling.

**Retail:** characterizing premises available for the sale of merchandise and food service. See *Table 5.4* and *Table 5.7*.

**Retail Frontage:** Frontage designated on a Regulating Plan that requires or recommends the provision of a Shopfront, encouraging the ground level to be available for Retail use. See **Special Requirements**.

**Road (RD):** a local, rural and suburban Thoroughfare of low-to-moderate vehicular speed and capacity. This type is allocated to the more rural Transect Zones (T1-T3). See *Table 3.3*.

**Rowhouse:** a single-family dwelling that shares a party wall with another of the same type and occupies the full Frontage Line. See Rearyard Building. (Syn: Townhouse)

**Rural Boundary Line:** the extent of potential urban growth as determined by existing geographical determinants. The Rural Boundary Line is permanent.

**Secondary Frontage:** on corner Lots, the Private Frontage that is not the Principal Frontage. As it affects the public realm, its First Layer is regulated. See *Table 6.1*.

**Sensitive Site:** The site of a building located in a historic district or designated as a historic district by the City of San Marcos Historic Preservation Commission (Building of Value) or a single-family zoned district.

**Setback:** the area of a Lot measured from the Lot line to a building Facade or Elevation that is maintained clear of permanent structures, with the exception of Encroachments listed in *Section 5.7*. See *Table 1.2g/h* and *Table 1.3g/h*. (Var: build-to-line.)

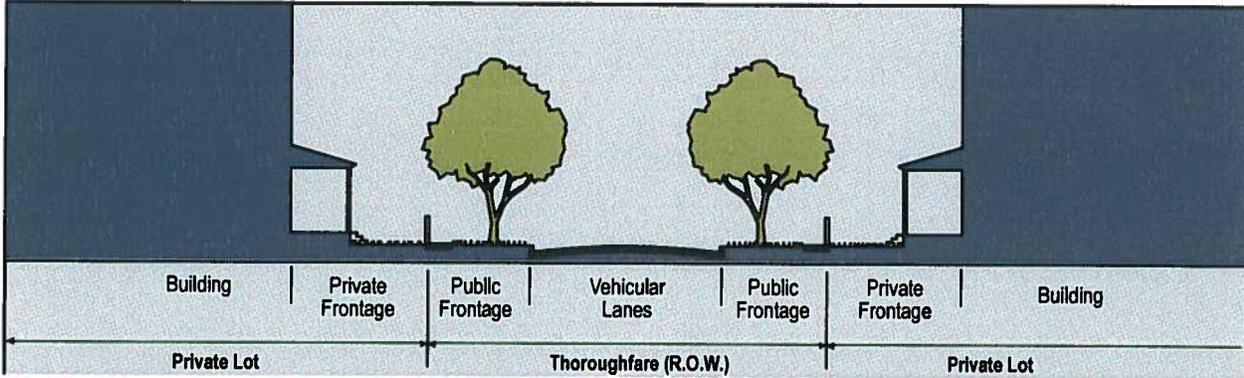
**Sharrow:** Also known as the Shared Lane Marking in the Manual of Uniform Traffic Control Devices, is a pavement marking indicating that motorists and cyclists share a travel lane. The Sharrow shall be placed so that the centers

# ARTICLE 6 8. DEFINITIONS OF TERMS

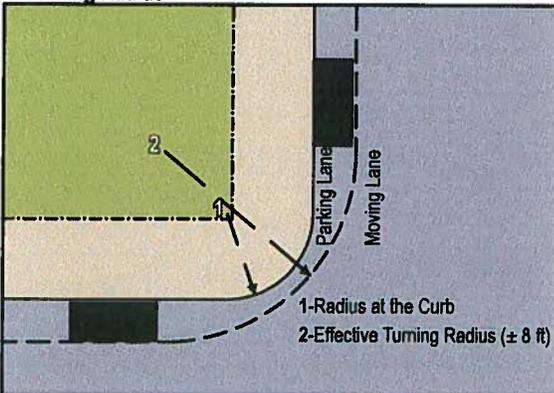
San Marcos, Texas

**TABLE 6-4. 8.1 DEFINITIONS ILLUSTRATED**

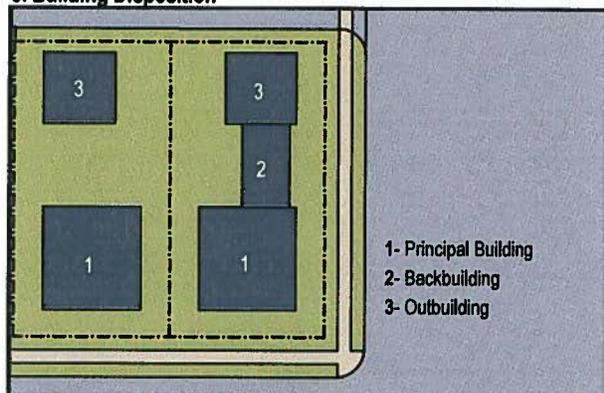
**a. Thoroughfare and Frontages**



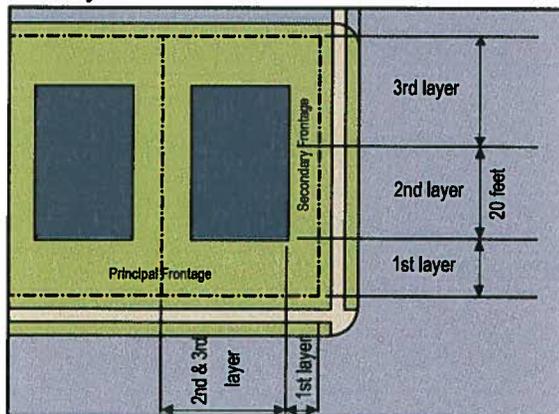
**b. Turning Radius**



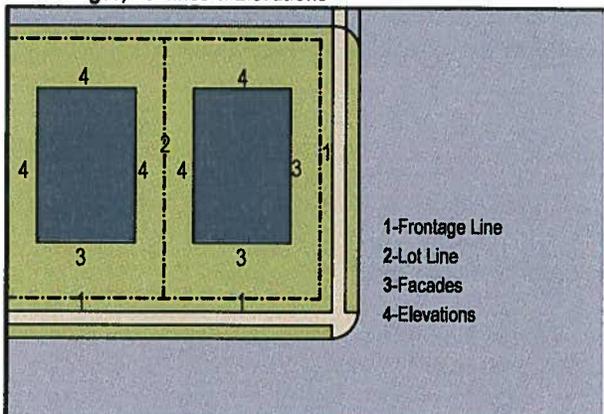
**c. Building Disposition**



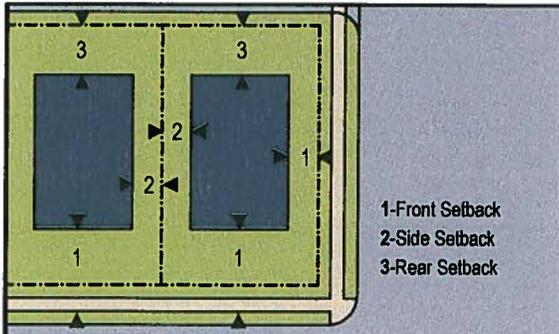
**d. Lot Layers**



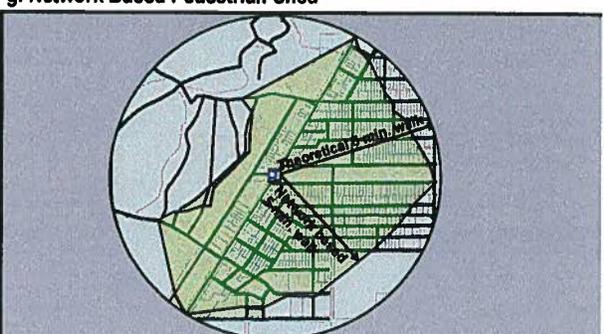
**e. Frontages, Lot lines & Elevations**



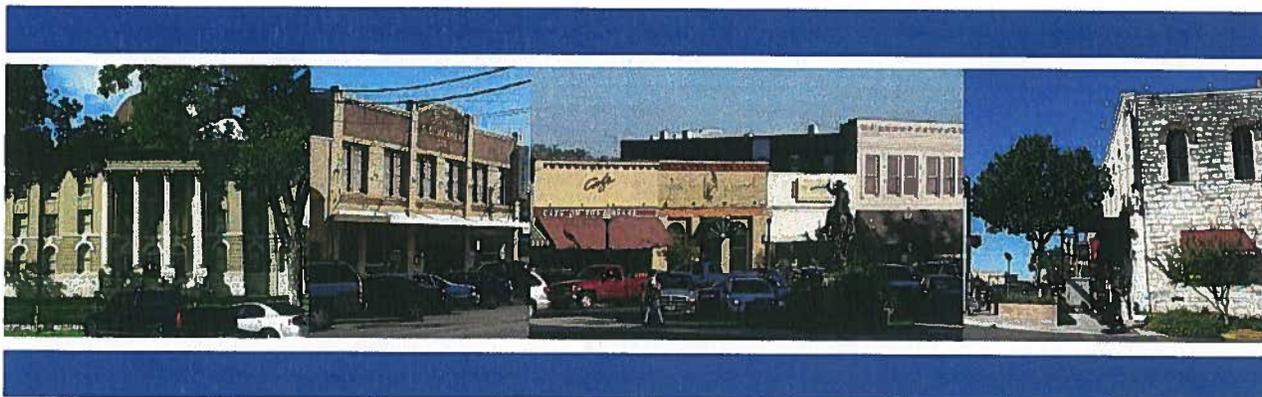
**f. Setbacks**



**g. Network Based Pedestrian Shed**



# Downtown Design Guidelines



**DRAFT**  
SUBJECT TO CHANGE

**San Marcos, TX**  
**August 8, 2012**

# Introduction

The regulations in the SmartCode establish the basic requirements for building mass and scale throughout the downtown. These design guidelines supplement the SmartCode standards in the following ways:

- As advisory information for those who wish to better understand the intent of the design standards in the downtown SmartCode.
- As part of design review for the “administrative approval” process when alternatives are applied for.
- As part of design review for the “by warrant” process when alternatives are applied for.

## About the Design Guidelines

The guidelines within this document focus on allowing for flexibility in design while also protecting the character of downtown and enhancing its pedestrian-friendly atmosphere. The guidelines and the review process through which they are administered seek to maintain downtown as a cohesive, livable place. Maintaining an attractive pedestrian-oriented environment is a fundamental concept. The design guidelines also provide a basis for making consistent decisions about the appropriateness of improvement projects requesting alternative strategies through the City’s design review process. This includes both Administrative Review by the Development Review Committee as well as Planning and Zoning Board review through the Warrent process. In addition, the guidelines serve as educational and planning tools for property owners and their design professionals who seek to make improvements downtown.

# Section 1: Design Principles for Downtown San Marcos

## General Principals for New Development

This section sets forth fundamental principles for improvements in the downtown. These principles are broad in nature, focusing on qualitative aspects of design. Each improvement project in downtown should help forward the goals outlined in the Introduction and should also comply with these fundamental design principles:

### 1. Draw upon local design traditions

Buildings downtown exemplify unique character and authenticity, with lessons for new designs. Many buildings share similar features, materials and forms that reflect the city's design traditions and should be considered as inspiration for new work. This does not mean copying earlier styles, but rather learning from them.

### 2. Honor the heritage of the city

Buildings, sites and components of urban infrastructure that have historic significance should be preserved. These properties should continue to serve the community while retaining their integrity. New work around these resources should be compatible with them.

### 3. Celebrate Courthouse Square

As the major focal point of downtown, Courthouse Square should be valued in all urban design. This applies to properties in close proximity to the square, but also relates to improvements that may link other places to it, in terms of views, pedestrian circulation and building orientation.

### 4. Design to fit with the context

Improvement projects should consider their context. In some areas, that context remains strongly anchored by historic buildings. In other parts of downtown, the context is more contemporary, with individual historic buildings sometimes appearing as accents. In still other areas, no historic structures exist. In this respect, "designing in context" means helping to achieve the long term goals for each of these areas.

### 5. Achieve excellence in design

Each improvement in downtown should express excellence in design, and it should raise the bar for others to follow. This includes using high quality materials and construction methods and paying attention to details.

### 6. Promote creativity

Innovation in design is welcomed in downtown. Exploring new ways of designing buildings and spaces is appropriate when they contribute to a cohesive urban fabric. This type of creativity should be distinguished from simply being "different."

### 7. Design with authenticity

Downtown is defined by buildings and places that reflect their own time, including distinct construction techniques as well as style. The result is a sense of authenticity in building and materials. All new improvements should convey this sense of authenticity.

### 8. Design with consistency

Buildings and places in downtown that are highly valued are those which have a cohesive quality in their use of materials, organization of functions and overall design concept. Each new project should also embody a single, consistent design concept.

### **9. Design for durability**

Downtown's cherished buildings and spaces are designed for the long term with durable materials. New work should have this same quality.

### **10. Design for sustainability**

Aspects of cultural, economic and environmental sustainability that relate to urban design and compatibility should be woven into new developments and improvements.

### **11. Enhance the public realm**

At the heart of downtown is an enhanced public realm, including streets, sidewalks and open spaces. Sidewalks and other pedestrian ways should be designed to invite their use through thoughtful planning and design. Improvement on private property also should enhance the public realm.

### **12. Enhance the pedestrian experience**

Each improvement project should contribute to a pedestrian-friendly environment. This includes defining street edges with buildings and spaces that are visually interesting and attract pedestrian activity. Buildings that convey a sense of human scale and streetscapes that invite walking are keys to successful design in downtown. Providing sidewalks of sufficient width for circulation and outdoor activities, and installing appropriate landscape and streetscape elements is also important.

## Section 2: Design Contexts

This section includes goal statements for each of the design contexts within downtown. These contexts are areas identified by community workshop participants as having unique character, constraints and/or design goals. Please note the Courthouse Square area is not included, as a separate design review system is in place for the historic district. See the map on the following page for the location of the design contexts.

### **University Edge**

Within the University Edge context there are key public views up to campus and down to Courthouse Square. New development should preserve and enhance these views.

### **Downtown**

Within the Downtown context it is especially important to maintain compatibility with Courthouse Square. Increased density is appropriate where it does not impact the character of the square.

### **Residential/Transition Edge**

For new development within the Residential/Transition Edge context it is important to minimize impacts from higher scale development on the character of the adjacent residential neighborhoods. New development should provide a transition in scale between the taller buildings in the T5 zone and the existing residential neighborhoods.

### **Transit Oriented Development**

Projects within the Transit Oriented Development context should establish a strong pedestrian orientation. The street front character is especially important here to encourage pedestrian activity.

### **Approach**

The Approach context is the corridor between the highway and downtown, providing an entry procession into the heart of downtown. New development in this area should provide visual interest and not overwhelm the distinct character of the downtown.



# Section 3: Design Guidelines

## Overarching Guidelines

This section provides general design guidelines for projects throughout all of the design contexts downtown.

### Building Scale

A new building should convey a sense of human scale through its design features.

1. Establish a sense of human scale in a building design.

### Views

Views from the public right of way to the university and Courthouse Square are important and should be retained. The location of the building on a site, in addition to its scale, height, and massing, can impact views from the adjacent public right of way, including streets, sidewalks, intersections, and public spaces.

2. Minimize the impacts to primary views from the public right of way to the university and Courthouse Square.

## Guidelines Specific to the Design Standards

This section provides specific guidelines on topics directly related to the design standards.

### Building Height

The variety in building heights that exists in downtown San Marcos helps to define the character of the area. New development should continue the tradition of height variation, expressing and supporting human scale and architectural diversity in the area. New buildings above three stories should set back upper floors to maintain a sense of human scale at the street and minimize impacts to lower scale historic structures downtown. The base code allows five stories in downtown, but additional height may be considered. The following table should be used when analyzing requests for additional height.

3. Provide variation in building height in a large project.
4. Position the taller portion of a structure away from neighboring buildings of lower scale or other sensitive edges.

### Height Strategy by Context

Design Context	Goal(s)	Additional height	Height at Street Wall
University Edge	Preserve key public views up the hill to campus.	Alternatives may be considered which allow greater public access to key views up the hill, and where additional height will not obscure key views.	Alternatives which allow greater public access to key views up the hill may be considered.
Downtown	Maintain compatibility with Court-house Square.	No additional height adjacent to Downtown Historic District. Additional height may be considered where it will not obscure key views.	Flexibility for building height requirements may be considered where it will not be visible from the square. Overall mass should maintain a sense of human scale and not appear out of character with the Downtown Historic District.
Residential/ Transition Edge	Minimize impacts from higher scale development on the character of adjacent residential neighborhoods. Provide a transition in scale between the T5 zone and the neighborhoods.	Additional height should only be permitted if it is not visible from the public right of way or the adjacent residential neighborhoods.	No additional height.
Transit Oriented Development	An increased density at and surrounding the future rail stop is desired.	Additional height may be appropriate here where the building maintains a sense of human scale and maintains a pedestrian-friendly streetscape.	Additional height at the street wall may be appropriate where the building maintains a sense of human scale and a pedestrian-friendly streetscape.
Approach	The intent for the approach area is to provide corridors between the highway and downtown.	Additional height may be appropriate where it does not directly impact residential neighborhoods . The building should maintain a sense of human scale and a pedestrian-friendly streetscape.	Additional height may be appropriate where it does not directly impact residential neighborhoods. The building should maintain a sense of human scale and a pedestrian-friendly streetscape.

### Building Mass and Articulation

Traditional development patterns create a rhythm along the street by the repetition of similar building widths and vertical proportions. Variations in massing and building articulation should be expressed throughout a new structure, resulting in a composition of building modules that relate to the scale of traditional buildings.

5. Provide horizontal expression at lower floor heights to establish a sense of scale.
6. Provide vertical articulation in a larger building mass to establish a sense of scale.
7. Maintain established development patterns created by the repetition of similar building widths along the street.
8. Design floor to floor heights to establish a sense of scale and reflect San Marcos traditions.

## **Canopies and Awnings**

Canopies and awnings are noteworthy features on many buildings in the downtown, and their continued use is encouraged. Traditionally, these features were simple in detail, and reflected the character of the building to which they were attached.

9. An awning or canopy should be in character with the building and streetscape.

## **Window Design**

The manner in which windows are used to articulate a building wall is an important consideration in establishing a sense of scale and visual continuity. In traditional commercial buildings, a storefront system was installed on the ground floor and upper story windows most often appeared as punched openings. Window design and placement should help to establish a sense of scale and provide pedestrian interest.

10. Provide a high level of ground floor transparency on a building in an area traditionally defined by commercial storefronts.
11. The use of a contemporary storefront design is encouraged in commercial settings.
12. Arrange windows to reflect the traditional rhythm and general alignment of windows in the area.

# Section 4: Sign Guidelines

## Overarching Sign Guidelines

This section provides general design guidelines for signs throughout the downtown. Balancing the functional requirements for signs with the objectives for the overall character of the downtown is a key sign design consideration. In downtown, a sign is seen as serving two functions: first, to attract attention; and second, to convey information, essentially identifying the business or services offered. Orderly sign location and design should be applied to make fewer and smaller signs more effective. If a sign is mounted on a building with a well-designed facade, the building front alone can serve much of the attention-getting function. The sign can then focus on conveying information in a well-conceived manner. Similarly, for a free-standing sign, landscaping and other site amenities can help to give identity to the businesses located on the site. In this respect, each sign should be considered with the overall composition of the building and the site in mind. Signs should be in scale with their structure and integrated with surrounding buildings.

13. Consider a sign in the context of the overall building and site design.
14. Design a sign to be in scale with its setting.
15. Design a sign to highlight architectural features of the building.
16. Design a sign to convey visual interest to pedestrians.
17. Avoid damaging or obscuring architectural details or features when installing signs on historic structures.

## Guidelines Specific to the Sign Standards

This section provides specific sign guidelines on topics directly related to the sign standards.

### Historic Signs

Historic signs contribute to the character of downtown. They also have individual value, apart from the buildings to which they are attached. Historic signs of all types should be retained and restored whenever possible. This is especially important when they are a significant part of a building's history or design.

18. Consider history, context and design when determining whether to retain a historic sign.

## **Sign Character**

A sign should be in character with the materials, colors and details of the building and its site. The integration of an attached sign with the building or building facade is important and should be a key factor in its design and installation. Signs also should be visually interesting and clearly legible. Signs that appear to be custom-designed and fabricated, and that convey visual interest in the urban setting are preferred. Those that are scaled to the pedestrian are especially encouraged. A sign should also reflect the overall context of the building and surrounding area.

19. A sign should be subordinate to the overall building composition.
20. Use sign materials that are compatible with the architectural character and materials of the building.
21. A sign should not obscure character-defining features of a building.

## **Sign Lighting**

Illumination should occur in a manner that keeps it subordinate to the overall building and its site as well as the neighborhood, while accomplishing the functional needs of the business. Minimize surface glare and manage light spill such that glare is not created on adjoining properties.

22. Where allowed, an external light source should be shielded to direct the light and minimize glare.
23. Neon and halo illumination may be considered if located at the street level and designed to be in character with, and subordinate to the building facade.

## **Specific Sign Types**

This section includes guidelines for the specific sign types allowed in the sign standards.

### **Awning and Canopy Signs**

An awning or canopy sign is flat against the surface of the awning or canopy material.

24. Use an awning or canopy sign in areas with high pedestrian use.
25. Use an awning or canopy sign when other sign types would obscure architectural details.

### **Blade Sign**

A blade sign is attached perpendicular to the wall of a building or structure.

26. Design a bracket for a blade sign to complement the sign composition.
27. Locate a blade sign to relate to the building facade and entries.

### **Sandwich Board**

A sandwich board is a portable sign designed in an A-frame or other fashion, and having back-to-back sign faces.

28. Locate a sandwich board to maintain a clear circulation path on the sidewalk.
29. Design the sandwich board to be durable and have a stable base.

### **Wall Sign**

A wall sign is any sign attached parallel to, but within 18 inches of a wall of a building including individual letters, cabinet signs, or signs painted on the surface of a wall.

30. Place a wall sign to be flat against the building facade.
31. Place wall signs to integrate with and not obscure building details and elements.

### **Directory Sign**

A tenant panel or directory sign displays the tenant name and location for a building containing multiple tenants.

32. Use a directory sign to consolidate small individual signs on a larger building.
33. Locate a directory sign at the street level entrance to upper floor businesses.

### **Pole and Monument Signs**

A monument sign is a sign that is erected on a solid base placed directly on the ground and constructed of a solid material. A pole mounted sign is generally mounted on one or two simple poles.

34. A pole or monument sign may be considered where it has been used traditionally and the building or activity is set back from the street or public right-of-way.
35. A pole or monument sign may be considered on a historic property or within a historic district when it is demonstrated that no other option is appropriate.
36. Design a pole or monument sign to be in character and proportion with its structure and site.
37. Design a monument sign to incorporate a sturdy supporting base that is at least 75% of the width of the sign face at its widest point. Appropriate base materials include, but are not limited to brick, stone, masonry and concrete.

# Appendix A: The Intent of the Standards

The following section provides intent statements for each of the tools, or set of tools, used in the standards. These statements should be used in determining compatibility of alternative designs with the intent of the standards.

## 1. Contextual Height Step Down Requirement

To provide a compatible sense of scale along sensitive edges in the downtown by using lower building heights for areas of a property adjacent to a Sensitive Site.

## 2. Expression Requirements

Traditionally, buildings in downtown San Marcos have an established sense of scale and proportion and express a visual rhythm and pedestrian interest at the street front. This should be continued in new projects. Vertical and horizontal articulation should express a sense of human scale and provide visual interest on a principal frontage.

### Expression Requirements: Vertical Expression

Vertical articulation techniques should provide interest in design and human scale. The purpose of these articulations is to ensure that the front of a new structure has a variety of offsets, surface relief, and insets to reflect a more traditional rhythm and scale at the street front.

### Expression Requirements: Horizontal Articulation

The objective of horizontal articulation tools is to create a sense of human scale, facade depth and visual interest on a building facade.

## 3. Window Design Requirements

A key feature of traditional buildings in downtown San Marcos is that window openings are clearly defined, either by a substantial inset behind the wall surface or by framing elements and sills. Window definition should add a sense of depth to the facade and contribute to a sense of human scale and visual interest.

## 4. Varied Upper Floor Massing Requirement

Buildings in downtown San Marcos are typically three stories or less in height. In most cases a range of building heights occur across a single block face. As the desired density increase is incorporated, it is important that new, taller structures not dominate the street front. Taller buildings should vary upper floor massing to provide variety in building height as perceived from the street and to maintain a sense of pedestrian scale at the sidewalk.

# Appendix B: Examples of Design Principles Applied

The following photographs provide examples of improvements that illustrate how some of the design guidelines may apply in downtown San Marcos. Some specific design features are identified in the captions. Note that, in some cases, while a specific design feature is described as being an appropriate example, the overall building shown may not meet all of the city's other design standards and guidelines.



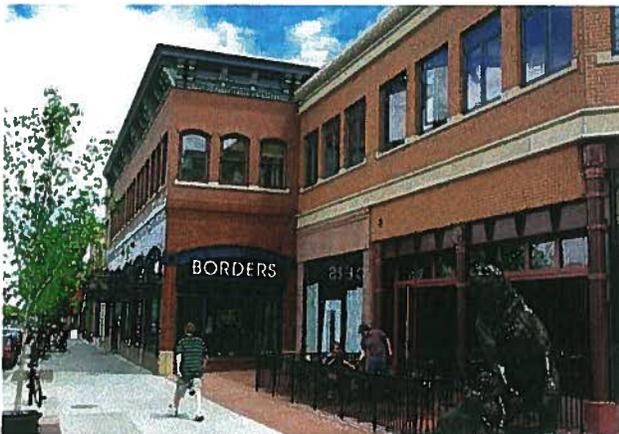
**Vertical Expression:**  
 • Vertical expression lines

**Horizontal Expression:**  
 • Cornice



**Vertical Expression:**  
 • Vertical expression lines

**Horizontal Expression:**  
 • Canopy



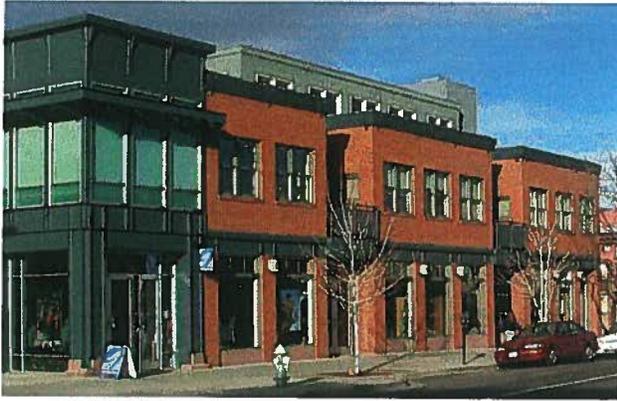
**Vertical expression:**  
 • Wall Offset

**Horizontal expression:**  
 • Horizontal expression line



• Stepped down and varied massing

**Vertical Expression:**  
 • Wall Offset



**Vertical Expression:**

- Wall notch

**Horizontal Expression:**

- Horizontal expression line

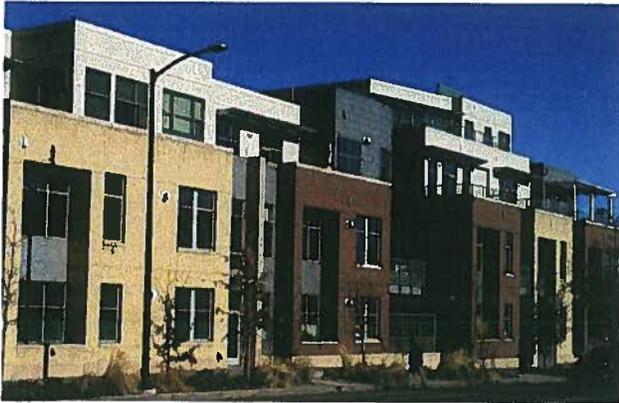


**Vertical Expression:**

- Wall notch

**Horizontal Expression:**

- Varied parapet



**Vertical Expression:**

- Wall Offset

**Horizontal expression:**

- Horizontal expression line/materials change
- Varied parapet height

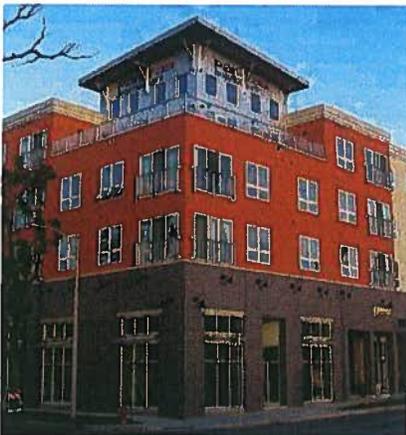


**Vertical Expression:**

- Wall Offset

**Horizontal expression:**

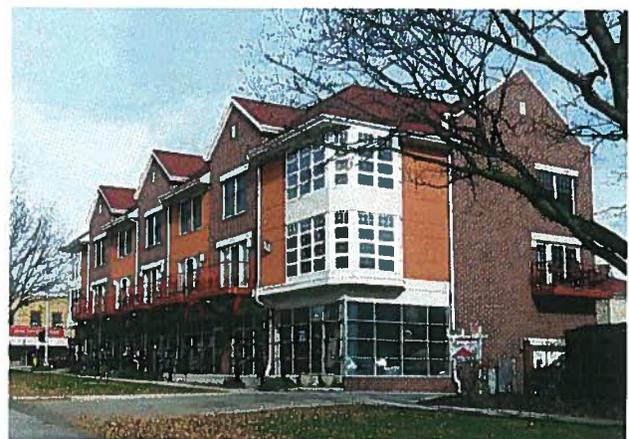
- Moldings
- Cornice



- Varied upper floor massing

**Horizontal Expression:**

- Change in materials
- Varied parapet



- Stepped down and varied massing

**Vertical Expression:**

- Change in materials



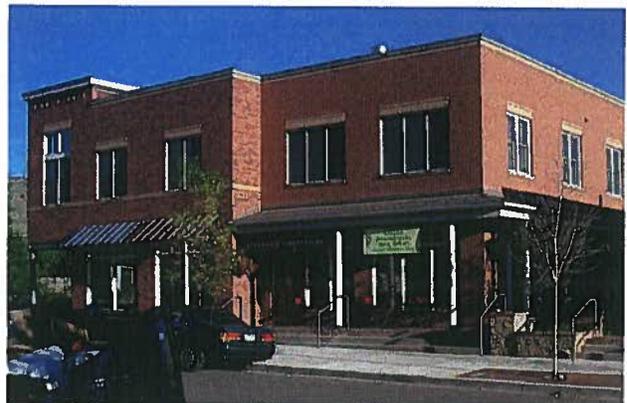
- Vertical Expression:**
- Change in materials
- Horizontal Expression:**
- Moldings
  - Cornice



- Varied upper floor massing
- Horizontal Expression:**
- Varied parapet
  - Canopies and awnings



- Horizontal Expression:**
- Balconies



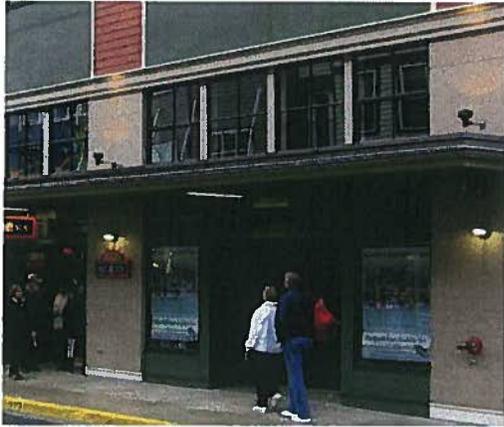
- Vertical Expression:**
- Wall Offset
- Window Design:**
- Vertical window proportions



- Step down in height adjacent to historic building
- Horizontal Expression:**
- Cornice



- Vertical Expression:**
- Wall notch
- Horizontal Expression:**
- Change in materials



**Horizontal Expression:**

- Canopy
- Moldings

**Window Design:**

- True divided lights
- Vertical proportions (in pairs)

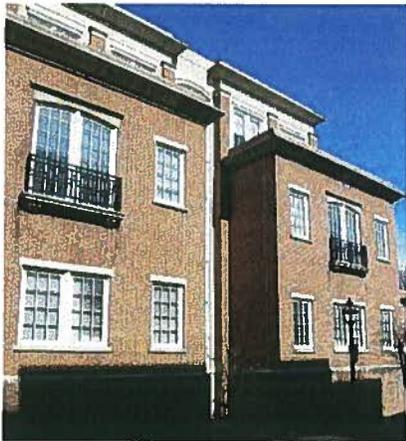


**Window Design:**

- Frame
- Vertical proportions (in sets of 2 and 4)

**Horizontal Expression:**

- Cornice
- Molding



- Varied upper floor massing

**Vertical Expression:**

- Wall notch

**Horizontal Expression:**

- Cornice



**Vertical Expression:**

- Wall offsets



- Varied parapet line

**Window Design:**

- Vertical proportions (in pairs)
- True divided lights



**Window Design:**

- Sills
- True divided lights
- Window inset



**Vertical Expression:**

- Wall notch
- Change in materials

**Horizontal Expression:**

- Cornices
- Balconies

**Window Design:**

- Vertical proportions (in sets of three)



**Vertical Expression:**

- Wall notch

**Horizontal Expression:**

- Awnings at first floor
- Window moldings at second floor
- Cornice

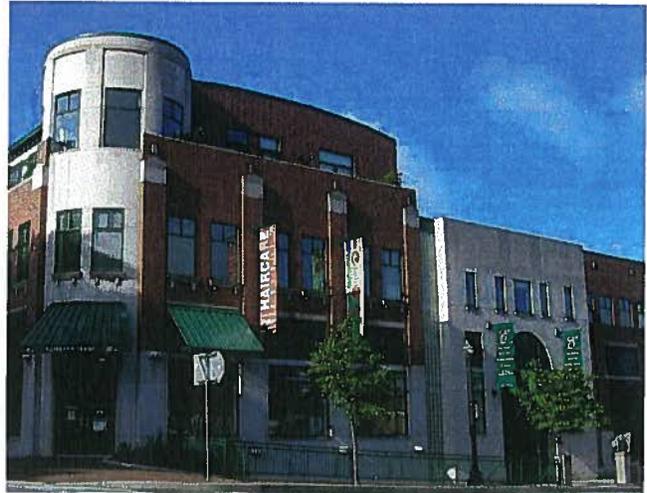


**Horizontal Expression:**

- Awning & canopies

**Window Design:**

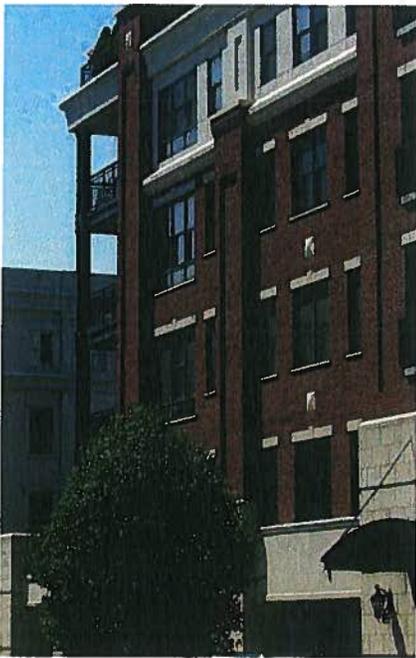
- Sills
- Vertical proportions



- Varied parapet line

**Vertical Expression:**

- Change in materials
- Vertical expression line (pilasters)

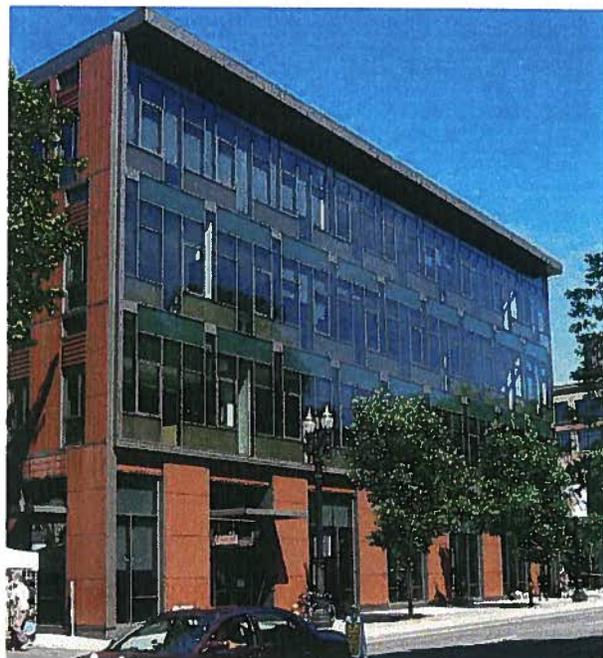


**Vertical Expression:**

- Vertical expression line (pilasters or attached columns)

**Horizontal Expression:**

- Cornice
- Change in materials (first and upper floors)



**Horizontal Expression:**

- Change in materials (at first floor)
- Cornice

**Window Design:**

- Vertical proportions



- Varied upper floor massing

Horizontal Expression:

- Cornice
- Change in materials (upper floor)

Window Design:

- Inset
- Sills
- True divided lights



- Varied upper floor heights

Horizontal Expression:

- Change in materials



Horizontal Expression:

- Cornice

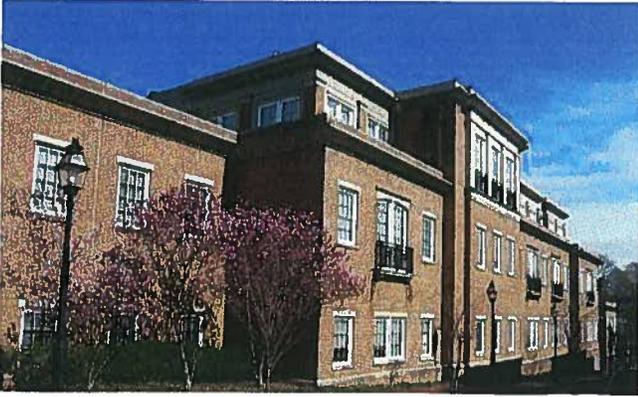
Window Design:

- Sills
- Inset



Horizontal Expression:

- Cornice
- Second floor expression line



- Varied upper floor massing

Vertical Expression:

- Wall offset

Horizontal Expression:

- Cornices



Vertical Expression:

- Wall notches

Horizontal Expression:

- Change in materials at first floor
- Cornices



Horizontal Expression:

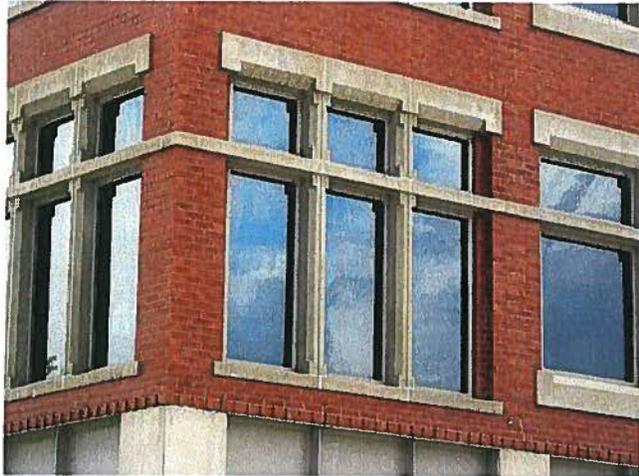
- Awnings



- Varied upper floor heights

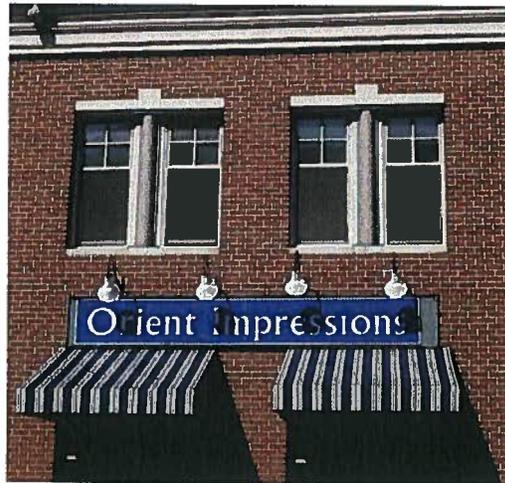
Vertical Expression:

- Wall offsets
- Cornice



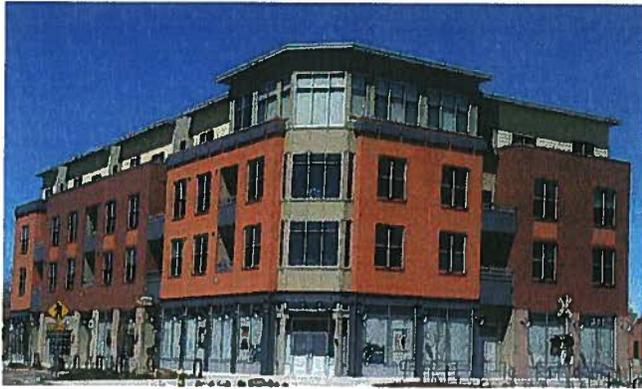
**Window Design:**

- Inset
- Sills



**Window Design:**

- Inset
- Sills



**Vertical Expression:**

- Wall notches
- Change in materials

**Horizontal Expression:**

- Cornices
- Change in materials

# **Appendix C: Public Lighting Standard Details**

**[DRAFT]**

---

**STREET AND  
PEDESTRIAN  
LIGHTING  
STANDARDS  
AND  
SPECIFICATIONS**

---

**CITY OF SAN MARCOS, TEXAS**

---



**TABLE OF CONTENTS**

LIGHTING GUIDE AND POLICIES ..... 1

STREET LIGHT ORDINANCES

    LAND DEVELOPMENT CODE..... 2

    SMART CODE ..... 3

LIGHTING TYPES

    COBRA HEAD..... 4-8

    POST ROADWAY (Smart Code "Pipe") ..... 9-10

    POST PENDANT (Smart Code "Post")..... 11-12

    ANTIQUE

        ANTIQUE SINGLE (Smart Code "Column") ..... 14

        ANTIQUE DOUBLE (Smart Code "Double Column")..... 15

    MODERN

        MODERN SINGLE (Smart Code "Column")..... 17

        MODERN DOUBLE (Smart Code "Double Column") ..... 18

## **LIGHTING GUIDELINES AND POLICIES**

These guidelines and policies are applicable within the city limits of San Marcos. All light fixtures on standard and alternative street and pedestrian lighting shall be the light emitting diode (LED) type.

### **For standard cobra head assemblies:**

Cobra head type lights are approved for use in smart code transect T1 and as approved in special districts (SD) and in non-smart code areas. Design and construction plans are the responsibility of the developer. Light location and spacing shall be as specified in the City of San Marcos Land Development Code and shall meet the American Association of State Highway and Transportation Officials (AASHTO) standards.

Plans shall be reviewed and approved for construction by the City of San Marcos prior to construction permitting.

The developer shall furnish and install all conduit, junction boxes, foundations, poles, arms, and wiring to the light fixture(s). San Marcos Electric Utility (SMEU) will furnish the fixture(s). A cost recovery fee, set at the purchase price paid by SMEU shall be paid for each LED fixture. Within the SMEU service area, SMEU will install the fixture(s). Outside the SMEU service area, the developer shall install the fixture(s).

SMEU will become the owner of the pole, mast arm, fixture, conduit, and wiring (entire lighting assembly) upon acceptance of the improvement. Manufacturers' warranties for all materials in the assembly shall be transferrable to the City of San Marcos.

### **For all lighting other than standard cobra head assemblies:**

Design and construction plans are the responsibility of the developer. Spacing and height of the poles and LED fixture configuration will be determined by the developer's photometric study to meet the requirements of foot candle coverage listed within the AASHTO manual.

Plans shall be reviewed and approved for construction by the City of San Marcos prior to construction permitting.

The developer shall furnish and install all conduit, junction boxes, foundations, poles, arms, wiring, and the light fixture(s).

SMEU will become the owner of the entire lighting assembly upon acceptance of the improvement. Manufacturers' warranties for all materials in the assembly shall be transferrable to the City of San Marcos.

## **LIGHTING GUIDELINES AND POLICIES**

These guidelines and policies are applicable within the city limits of San Marcos. All light fixtures on standard and alternative street and pedestrian lighting shall be the light emitting diode (LED) type.

### **For standard cobra head assemblies:**

Cobra head type lights are approved for use in smart code transect T1 and as approved in special districts (SD) and in non-smart code areas. Design and construction plans are the responsibility of the developer. Light location and spacing shall be as specified in the City of San Marcos Land Development Code and shall meet the American Association of State Highway and Transportation Officials (AASHTO) standards.

Plans shall be reviewed and approved for construction by the City of San Marcos prior to construction permitting.

The developer shall furnish and install all conduit, junction boxes, foundations, poles, arms, and wiring to the light fixture(s). San Marcos Electric Utility (SMEU) will furnish the fixture(s). A cost recovery fee, set at the purchase price paid by SMEU shall be paid for each LED fixture. Within the SMEU service area, SMEU will install the fixture(s). Outside the SMEU service area, the developer shall install the fixture(s).

SMEU will become the owner of the pole, mast arm, fixture, conduit, and wiring (entire lighting assembly) upon acceptance of the improvement. Manufacturers' warranties for all materials in the assembly shall be transferrable to the City of San Marcos.

### **For all lighting other than standard cobra head assemblies:**

Design and construction plans are the responsibility of the developer. Spacing and height of the poles and LED fixture configuration will be determined by the developer's photometric study to meet the requirements of foot candle coverage listed within the AASHTO manual.

Plans shall be reviewed and approved for construction by the City of San Marcos prior to construction permitting.

The developer shall furnish and install all conduit, junction boxes, foundations, poles, arms, wiring, and the light fixture(s).

SMEU will become the owner of the entire lighting assembly upon acceptance of the improvement. Manufacturers' warranties for all materials in the assembly shall be transferrable to the City of San Marcos.

Q  
From City of San Marcos Land Development Code

Chapter 7, Public Facilities Standards, Article 4, Roads, Sidewalks and Alleys, Division 1, General Standards, Section 7.4.1.4, Specific Street Standards, subsection (u):

(u) *Streetlights*. Streetlights shall be installed by the developer at all intersections and at the ends of cui-de-sacs, and shall have no greater distance than 400 feet between them within or abutting the subdivision. Street Lighting inside the City Limits shall be installed and suitable to accept power by the developer or property owner of new residential, commercial, or industrial developments at all intersections and at the end of cut-de-sacs, and shall have no greater distance than 400 feet between the fixtures within or abutting the subdivision. Poles shall be located a minimum of two feet behind existing or planned curbs or sidewalks on public rights-of-way. Street lighting structures shall comply with the *City of San Marcos Electric Utilities Underground Installation Specifications*. Street lights shall be fully shielded in such a manner that light emitted by the fixture, either from the lamp or indirectly from the luminaire, is projected below a horizontal plane running through the lowest point on the fixture where light is emitted. All street light installations shall be in accordance with the National Electrical Code and National Electrical Safety Code, and shall also conform to City laws, codes and specifications governing such work. Alternative standards for street lighting installations will be considered by the Electric Utility Division of the City of San Marcos Public Services Department on a case by case basis. All street lights shall be connected by the serving utility, to the permanent power supply and function properly prior to final acceptance. Service to locations where City electric utility facilities are not available will be made at the discretion of the Electric Utility Division of the City of San Marcos Public Services Department and at an additional charge, subject to existing tariffs, to the developer or property owner to cover the costs of installation and maintenance, including appropriate overheads, additional poles, conductors, other facilities and increased maintenance expenses. Applicable state or federal street lighting requirements in conflict with this ordinance supersede this ordinance.

**ARTICLE 3. COMMUNITY PLANS**

San Marcos, Texas

**TABLE 3.6. PUBLIC LIGHTING**

Lighting varies in brightness and also in the character of the fixture according to the Transect. LED or similar efficiency is recommended; lighting is required. See Design Guidelines for standard details.

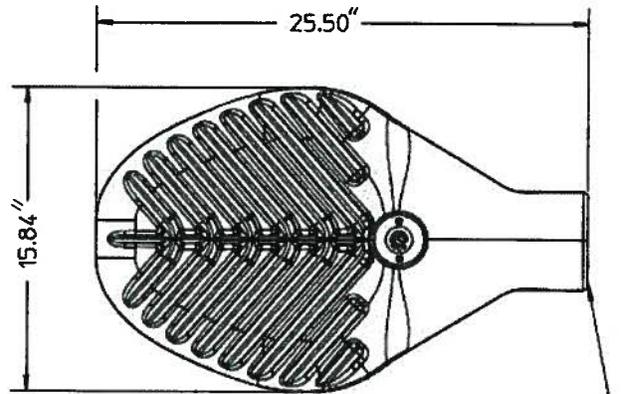
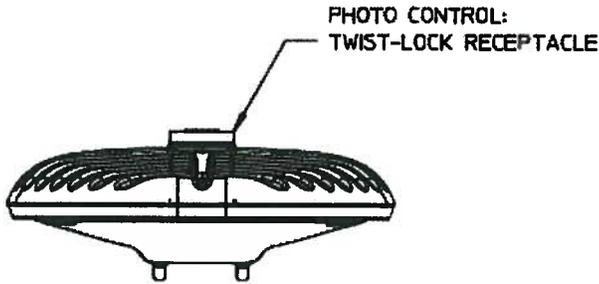
	T1	T2	T3	T4	T5	SD	Specifications
<b>Cobra Head</b> 	.					.	<u>Cobra Head Standard Detail</u> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/>
<b>Pipe</b> 	.	.	.				<u>Post Roadway Standard Detail</u> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/>
<b>Post</b> 		.	.	.			<u>Post Pendant Standard Detail</u> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/>
<b>Column</b> 			.	.	.		<u>Antique Single Standard Detail (required downtown)</u> <u>Modern Single Standard Detail</u> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/>
<b>Double Column</b> 					.		<u>Antique Double Standard Detail (required downtown)</u> <u>Modern Double Standard Detail</u> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/>

**DRAFT**  
 SUBJECT TO CHANGE

## **COBRA HEAD ASSEMBLY**

Approved for use in:

- Smart Code Transect TI
- As approved in Smart Code Special Districts (SD)
- Non-Smart Code Areas



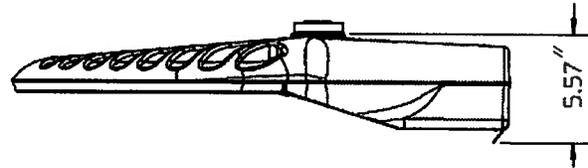
HOUNTING:  
ACCEPTS 1-1/2" to 2-1/2" or  
1-1/4" to 2" NPS HORIZONTAL  
TENON OR ARM, MINIMUM 6" LG.

**SPECIFICATIONS:**

1. ALL HOUSING COMPONENTS (HOUSING, LENS FRAME, DOOR) ARE LOW COPPER DIE-CAST ALUMINUM, FLAT TEMPERED GLASS LENS.
2. PHILIPS LUMILEDS REBEL LEDS (40 LEDS), 70 COLOR RENDERING INDEX (CRI), INJECTION MOLDED, ACRYLIC OPTICAL PLATES, IP66 RATED LED ARRAY.
3. PHILIPS ADVANCE XITANIUM LED DIRVER, CLASS 1, OUTDOOR RATED (IP66), >90% POWER FACTOR.
4. OPERATING TEMPERATURE RANGE IS -40°C to +40°C
5. >L70 @ 80,000 hrs @ 25°C (DRIVER 100,000 HRS).
6. <20% THD.
7. MANUFACTURED TO ISO 9001:2000 STANDARDS, RoHS, VIBRATION TESTED TO ANSI C136.31 FOR BRIDGE APPLICATIONS, ETL/CETL LISTED TO UL1598 & UL8750 STANDARDS.
8. MAX EPA: 0.54 SQ FT
9. WEIGHT: 19.5 LBS.
10. EQUIVALENT TO 100 HPS.

**NOTE:**

PARTS OF THE ENTIRE LIGHT ASSEMBLY SHALL BE AS SPECIFIED OR APPROVED EQUIVALENT.



**PRODUCT DETAILS:**

COLOR: GRAY  
OPTICS: TYPE II  
COLOR TEMPERATURE: 4000K  
VOLTAGE 120-277 VAC  
DRIVE CURRENT: MULTI TAP (350.530.700Ma) 530Ma PULLED  
PHOTO CONTROL: TWIST-LOCK RECEPTACLE  
DIMMING CONTROLS: NONE  
SURGE SUPPRESSION: ADDITIONAL 10Kv BIL  
HOUSE SIDE SHIELD: NONE

ORDERING GUIDE ( PHILIPS HADCO): S5995D LUMINAIRE OR APPROVED EQUIVALENT

# 25.5" COBRA HEAD LED LIGHT

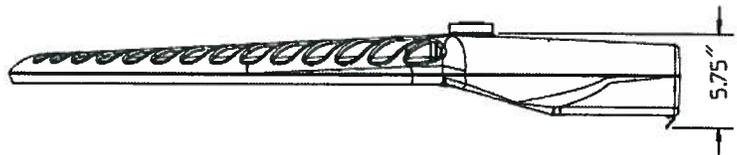
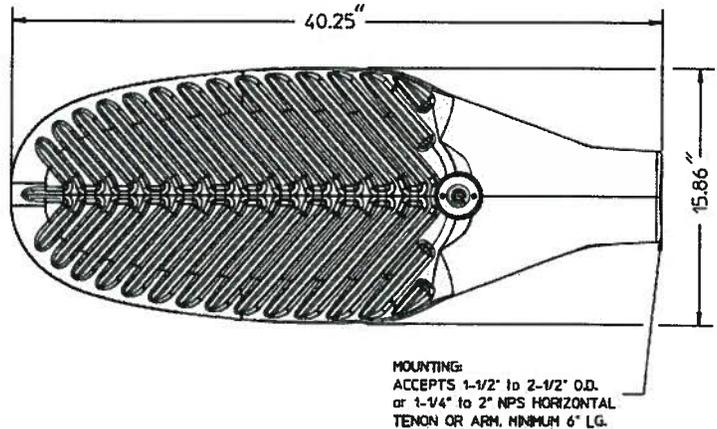
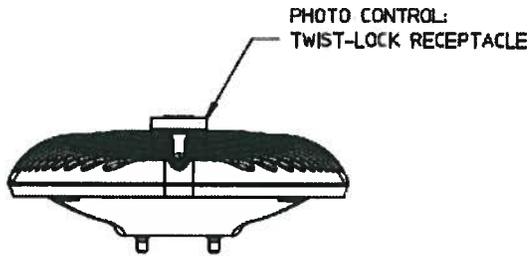
The City of San Marcos  
Engineering and Capital Improvements

STANDARD DETAILS

N.T.S

DRAWING: T:/DETAILS/25.5 IN COBRA HEAD LIGHT

DATE: APRIL 2012



**SPECIFICATIONS:**

1. ALL HOUSING COMPONENTS (HOUSING, LENS FRAME, DOOR) ARE LOW COPPER DIE-CAST ALUMINUM, FLAT TEMPERED GLASS LENS.
2. PHILIPS LUMILEDS REBEL LEDS (120 LEDS), 70 COLOR RENDERING INDEX (CRI), INJECTION MOLDED, ACRYLIC OPTICAL PLATES, IP66 RATED LED ARRAY.
3. PHILIPS ADVANCE XITANIUM LED DRIVER, CLASS 1, OUTDOOR RATED (IP66), >90% POWER FACTOR.
4. OPERATING TEMPERATURE RANGE IS -40°C to +40°C.
5. >L70 @ 80,000 hrs @ 25°C (DRIVER 100,000 HRS).
6. <20% THD.
7. MANUFACTURED TO ISO 9001:2000 STANDARDS, RoHS, VIBRATION TESTED TO ANSI C136.31 FOR BRIDGE APPLICATIONS, ETL/CETL LISTED TO UL 1598 & UL8750 STANDARDS.
8. MAX EPA: 0.82 SQ. FT.
9. WEIGHT: 32 LBS.
10. EQUIVALENT TO 250 HPS.

**PRODUCT DETAILS :**

- COLOR: GRAY  
 OPTICS: TYPE II  
 COLOR TEMPERATURE: 4000K  
 VOLTAGE 120-277 VAC  
 DRIVE CURRENT: 530Ma  
 PHOTO CONTROL: TWIST-LOCK RECEPTACLE  
 DIMMING CONTROLS: NONE  
 SURGE SUPPRESSION: ADDITIONAL 10Kv BIL  
 HOUSE SIDE SHIELD: NONE

ORDERING GUIDE (PHILIPS HADCO): S5995E LUMINAIRE OR APPROVED EQUIVALENT

**NOTE:**

PARTS OF THE ENTIRE LIGHT ASSEMBLY SHALL BE AS SPECIFIED OR APPROVED EQUIVALENT

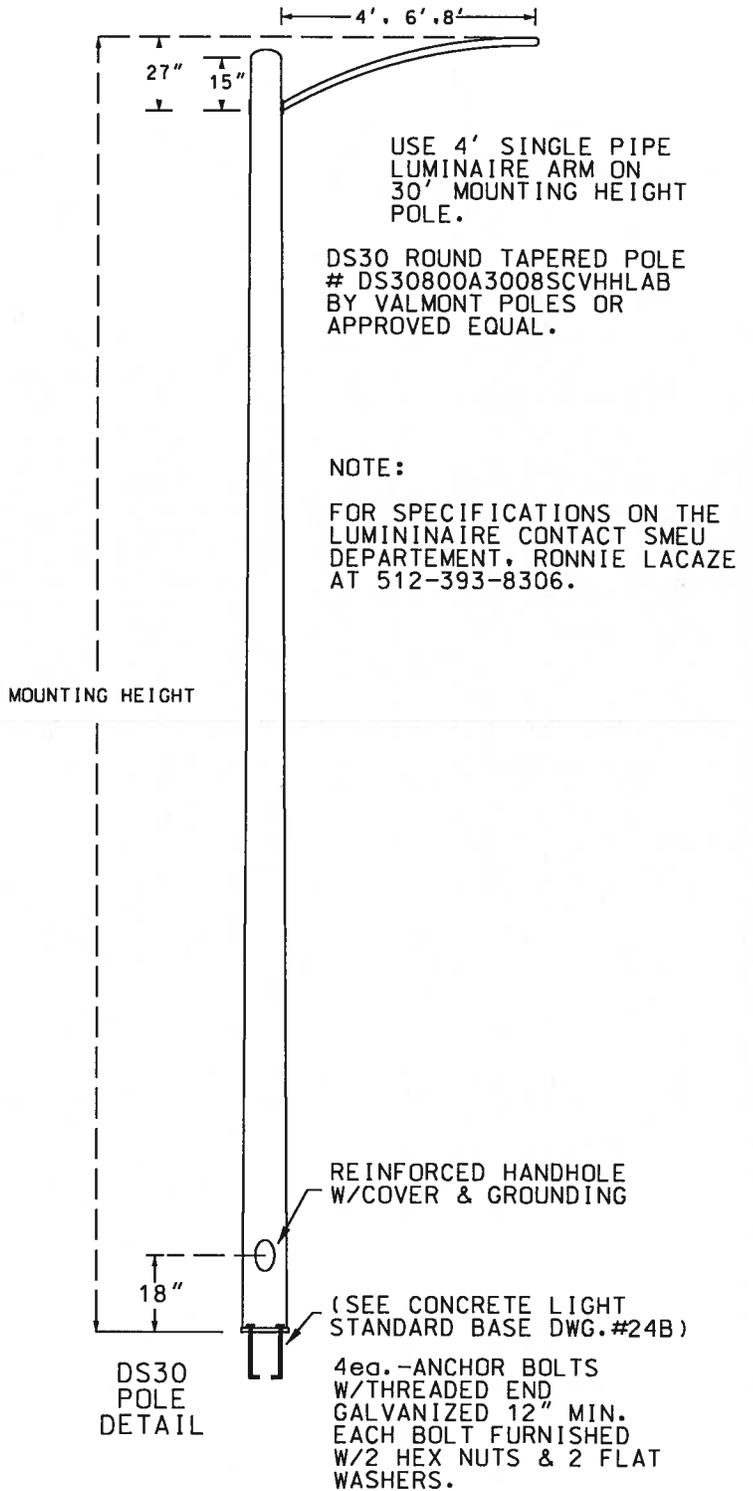
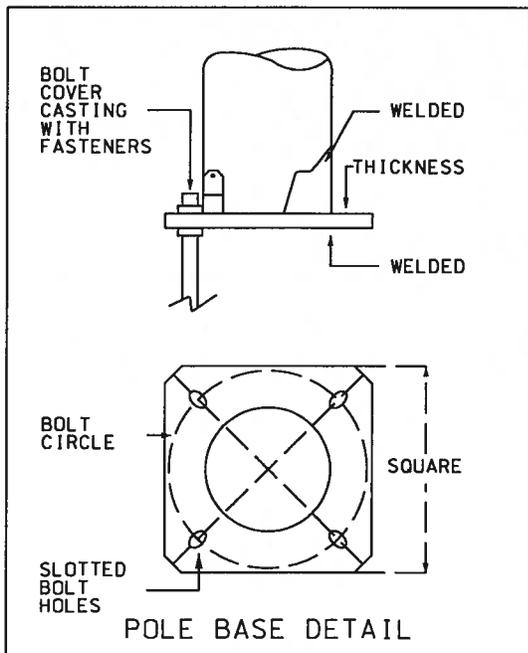
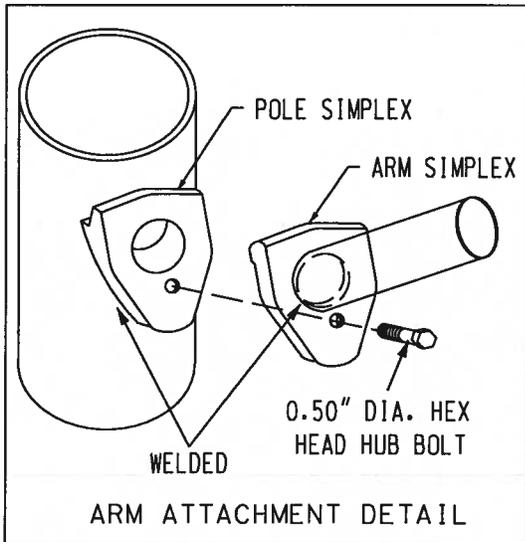
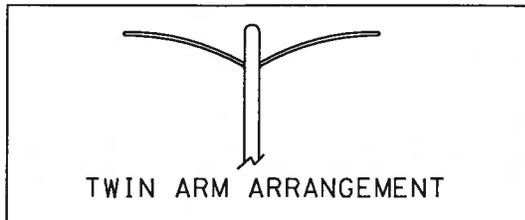
# 40.25" COBRA HEAD LED LIGHT

The City of San Marcos  
Engineering and Capital Improvements

STANDARD DETAILS  
N.T.S

DRAWING: T:/DETAILS/40.25 IN COBRA HEAD LIGHT

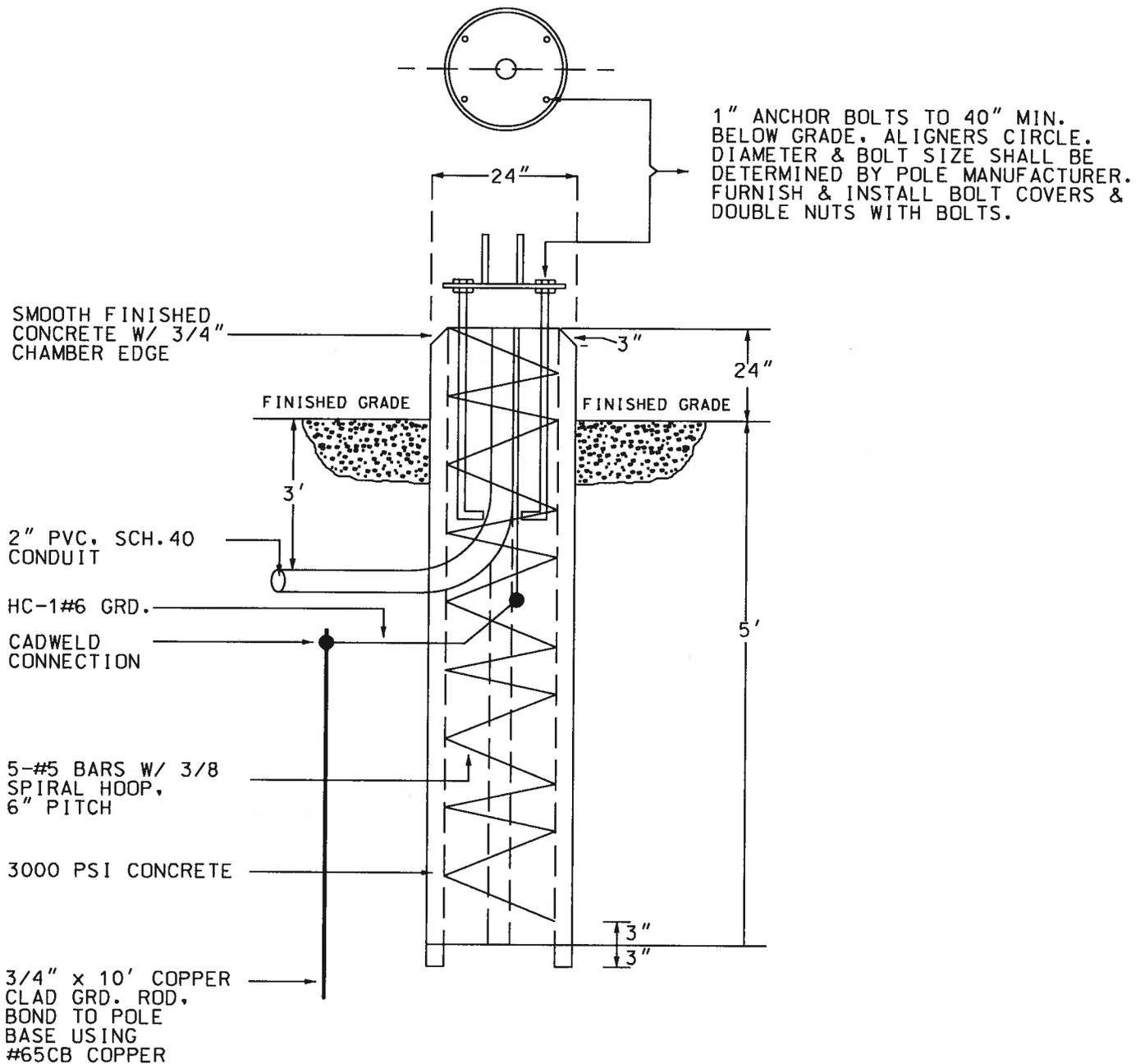
DATE: APRIL 2012



# STREET LIGHT ASSEMBLY

*The City of San Marcos*  
Engineering and Capital Improvements

STANDARD DETAIL  
N.T.S.



NOTE:

FILL EXCAVATED AREA BELOW PAD WITH COMPACTED GRANULAR MATERIAL MANUFACTURED FROM CRUSHED STONE OR OTHER GRANULAR MATERIAL APPROVED BY ENGINEER.

# STREET LIGHT CONCRETE BASE

*The City of San Marcos*  
Engineering and Capital Improvements

STANDARD DETAIL  
N.T.S.

DRAWING: T/DETAILS/STREET LIGHT BASE

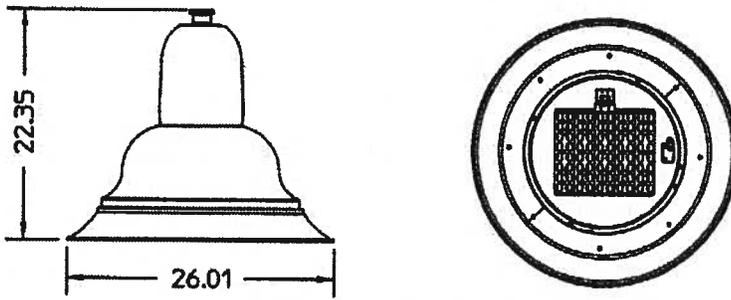
DATE: NOVEMBER 9, 2011

## **POST ROADWAY ASSEMBLY**

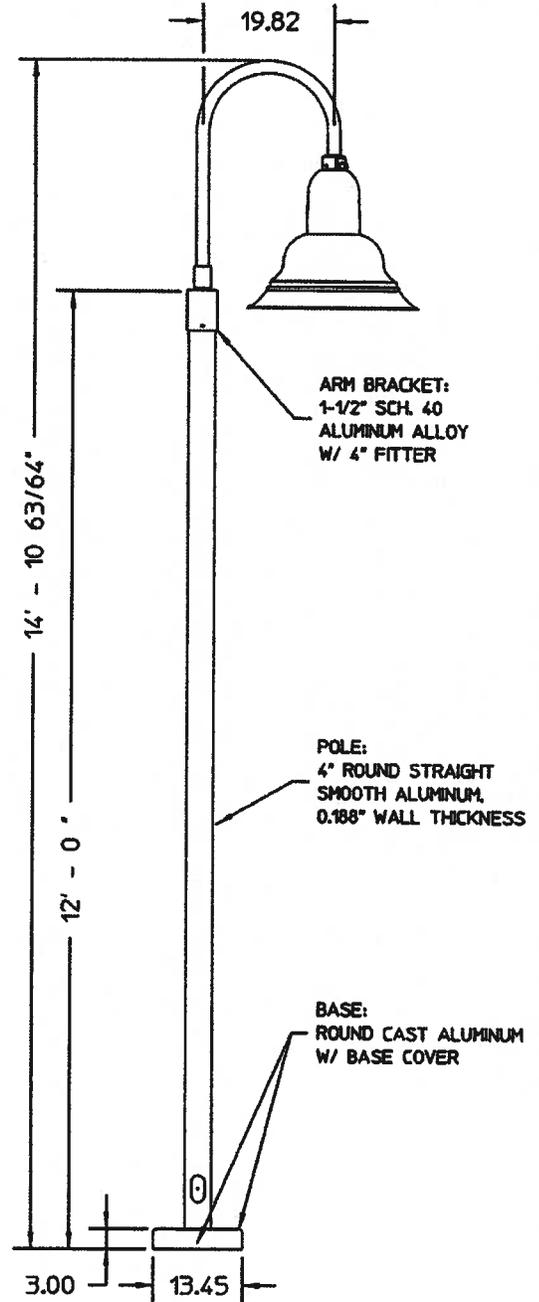
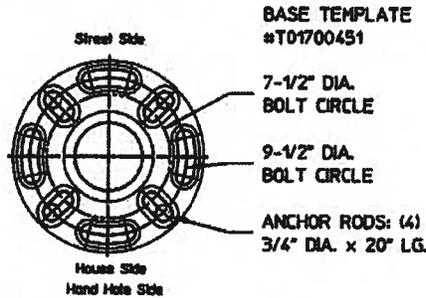
Approved for use in:

- Smart Code Transects T1, T2, T3
- As approved in Smart Code Special Districts (SD)

**Luminaire Detail**



**Base Template Detail**



**SPECIFICATIONS:**

1. 80, 4000K PHILIPS LUMILEDS REBEL LED'S. 70 COLOR RENDERING INDEX (CRI) NOMINAL W/ INJECTION MOLDED ACRYLIC OPTICAL PLATES, 65,000 HRS. AT >L70 LUMEN MAINTENANCE @ 25°C, TYPE III LIGHT DISTRIBUTION
2. PHILIPS ADVANCE XITANIUM CLASS 1, IP66 RATED LED DRIVER. DRIVER OPERATES 120-277 VAC, 50-60 HZ AUTO SENSING, 350MA, DRIVERS ARE ROHS COMPLIANT, ADDITIONAL 10KV SURGE SUPPRESSION.
3. ETL & CETL LISTED TO U.S. & CANADIAN SAFETY STANDARDS FOR WET LOCATIONS, UL8750 & UL1598 COMPLIANT, VIBRATION TESTED TO ANSI C136.31 FOR NORMAL APPLICATIONS, MANUFACTURED TO ISO 9001:2008 STANDARDS.
4. COLOR: BLACK
5. OPTICS: TYPE III
6. COLOR TEMPERATURE: 4000K
7. VOLTAGE: 120-277 VAC
8. SURGE SUPPRESSION: ADDITIONAL 10KV/10kA

**NOTE:**

PARTS OF THE ENTIRE LIGHT ASSEMBLY SHALL BE AS SPECIFIED OR APPROVED EQUIVALENT

ORDERING GUIDE (PHILIPS HADCO): S5995F LUMINAIRE, SA5995D ARM BRACKET, SP5995B POLE, OR APPROVED EQUIVALENT

# POST ROADWAY LIGHT ASSEMBLY

The City of San Marcos  
Engineering and Capital Improvements

STANDARD DETAILS  
N.T.S.

DRAWING:

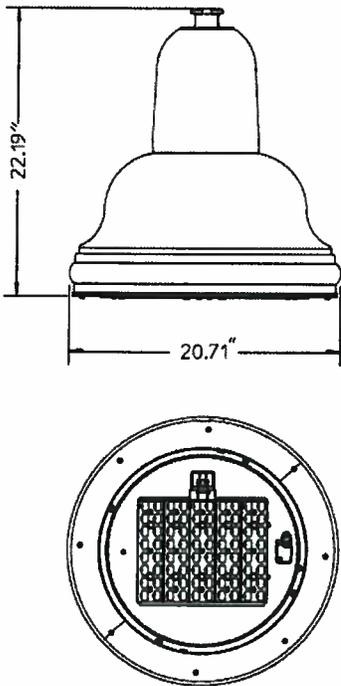
DATE: AUGUST 2012

10

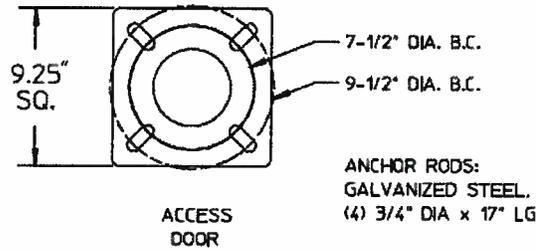
## **POST PENDANT ASSEMBLY**

Approved for use in:

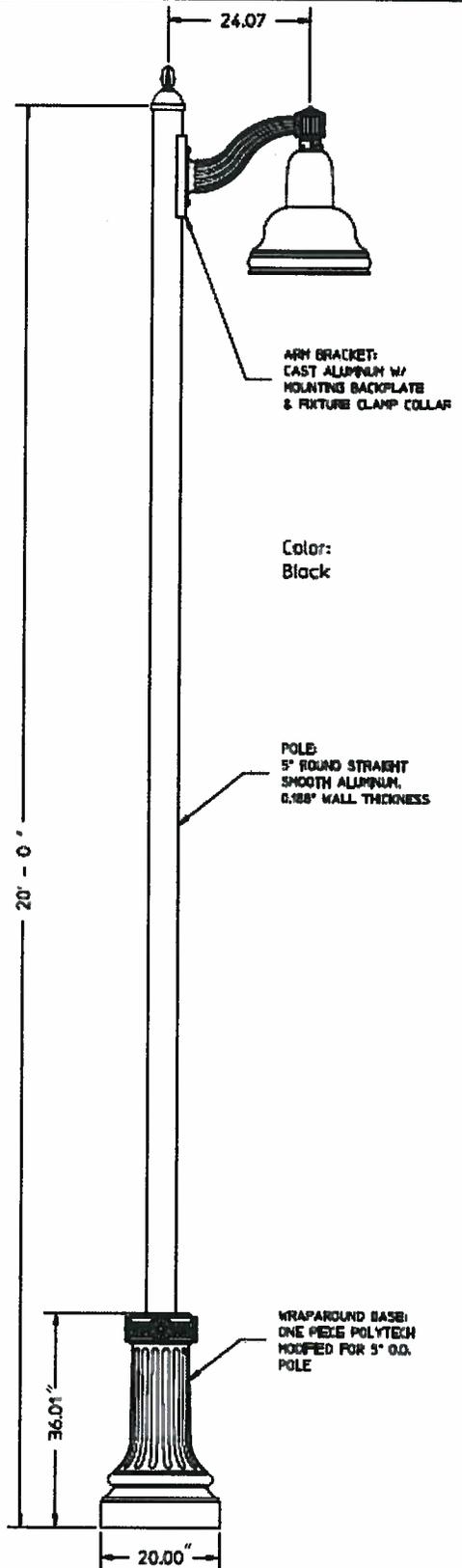
- Smart Code Transects T2, T3, T4
- As approved in Smart Code Special Districts (SD)



**Base Template Detail**



ANCHOR RODS:  
GALVANIZED STEEL,  
(4) 3/4" DIA x 17" LG



**SPECIFICATIONS:**

1. 80, 4000K PHILIPS LUMILEDS REBEL LED'S, >70 COLOR RENDERING INDEX (CRI) NOMINAL WITH INJECTION MOLDED ACRYLIC OPTICAL PLATES.
2. >70 @ 65,000 HRS @25°C.
3. TYPE II LIGHT DISTRIBUTION.
4. PHILIPS ADVANCE XITANIUM CLASS 1, IP66 RATED LED DRIVER. DRIVER OPERATES 120-277 VAC, 350mA, 50-60 Hz AUTO SENSING, ADDITIONAL 10KV BIL SURGE SUPPRESSION, >90% POWER FACTOR, <20% THD.
5. OPERATING TEMPERATURE RANGE IS -40°C TO +40°C.
6. MANUFACTURE TO ISO 9001:2008 STANDARDS, RoHS, VIBRATION TESTED TO ANSI C136.31 FOR NORMAL APPLICATIONS, ETL/CETL LISTED TO UL8750 & UL1598 COMPLIANT.
7. LED BOARDS: 80 LEDS.
8. COLOR: BLACK.
9. OPTICS: TYPE II.
10. SURGE SUPPRESSION: ADDITIONAL 10KV BIL.

**NOTE:**

PARTS OF THE ENTIRE LIGHT ASSEMBLY SHALL BE AS SPECIFIED OR APPROVED EQUIVALENT

ORDERING GUIDE (PHILIPS HADCO): S5995G LUMINAIRE,  
SA5995E ARM BRACKET, SA5995F WRAPAROUND BASE,  
SP5995C: POLE, OR APPROVED EQUIVALENT

# POST PENDANT LIGHT ASSEMBLY

The City of San Marcos  
Engineering and Capital Improvements

STANDARD DETAILS  
N.T.S

DRAWING: T:/DETAILS/POST PENDANT LIGHT ASSEMBLY

DATE: APRIL 2012

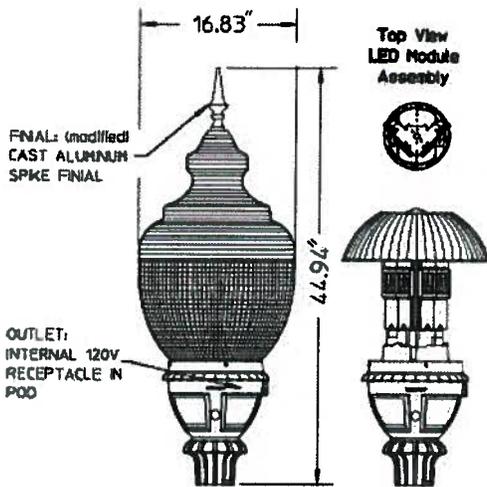
## **ANTIQUÉ ASSEMBLIES**

Antique Single Approved for use in:

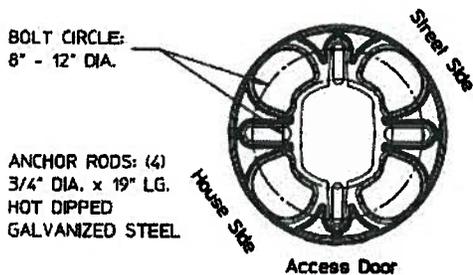
- Smart Code Transects T3, T4, T5
- As approved in Smart Code Special Districts (SD)

Antique Double Approved for use in:

- Smart Code Transects T5
- As approved in Smart Code Special Districts (SD)

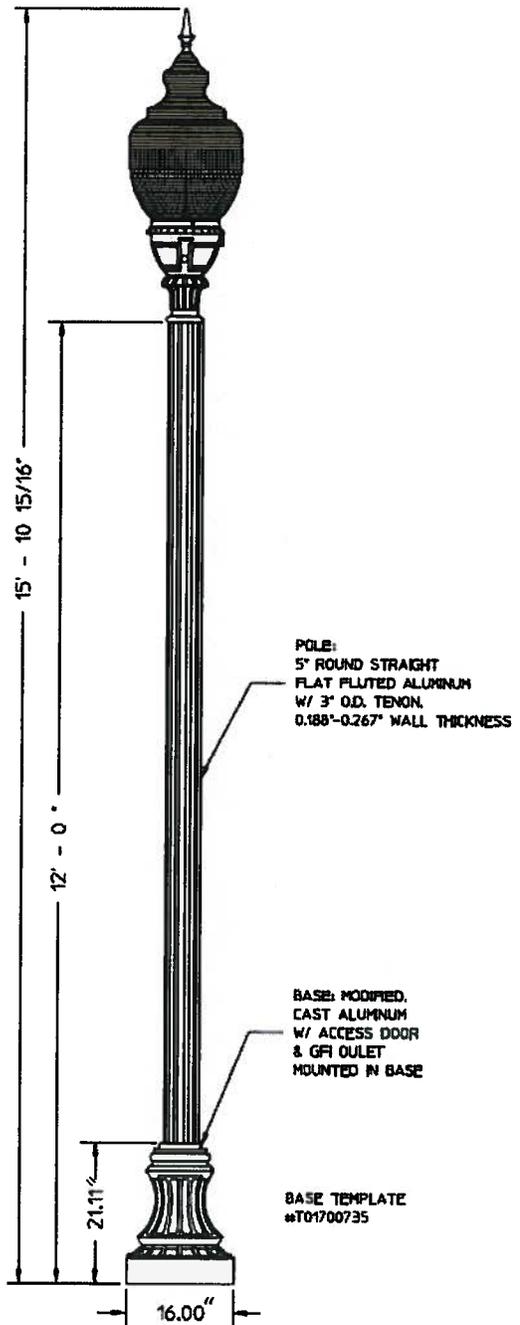


**Base Template Detail**



**SPECIFICATIONS:**

1. 80, 4000K (CCT) LUXEON REBEL ES LED'S ON ALUMINUM CORE PCB. SEALED ACRYLIC LENSE, IP66 RATED.
2. MIN 65 COLOR RENDERING INDEX (CRI).
3. 120-277 VAC, 50-60Hz AUTO SENSING.
4. 10KV/10KA SURGE SUPPRESSION BUILT IN.
5. OPTICS: TYPE III, WIDE BODY, ACRYLIC W/FULL TOP REFLECTOR.
6. FASTENERS: HEX HEAD BOLTS.
7. COLOR: BLACK.
8. PHOTO CONTROL: TWIST-LOCK RECEPTACLE.
9. COLOR TEMPERATURE: 4000K.
10. POLE HEIGHT: 10 FT, 12 FT (SHOWN), 14 FT, OR 16FT.



**NOTE:**

PARTS OF THE ENTIRE LIGHT ASSEMBLY SHALL BE AS SPECIFIED OR APPROVED EQUIVALENT

ORDERING GUIDE (PHILIPS HADCO): S5995A LUMINAIRE, SP5995 POLE, OR APPROVED EQUIVALENT

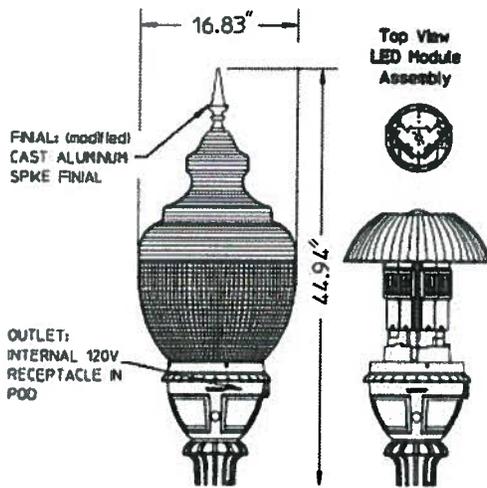
# ANTIQUE SINGLE LIGHT ASSEMBLY

The City of San Marcos  
Engineering and Capital Improvements

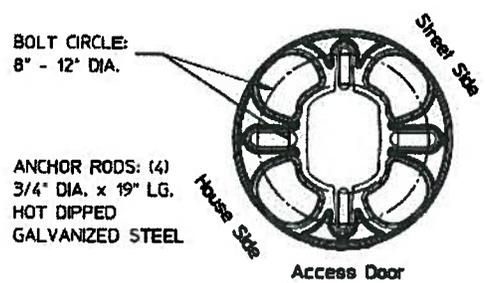
STANDARD DETAILS  
N.T.S

DRAWING: T:/DETAILS/ANTIQUE SINGLE LIGHT ASSEMBLY

DATE: APRIL 2012

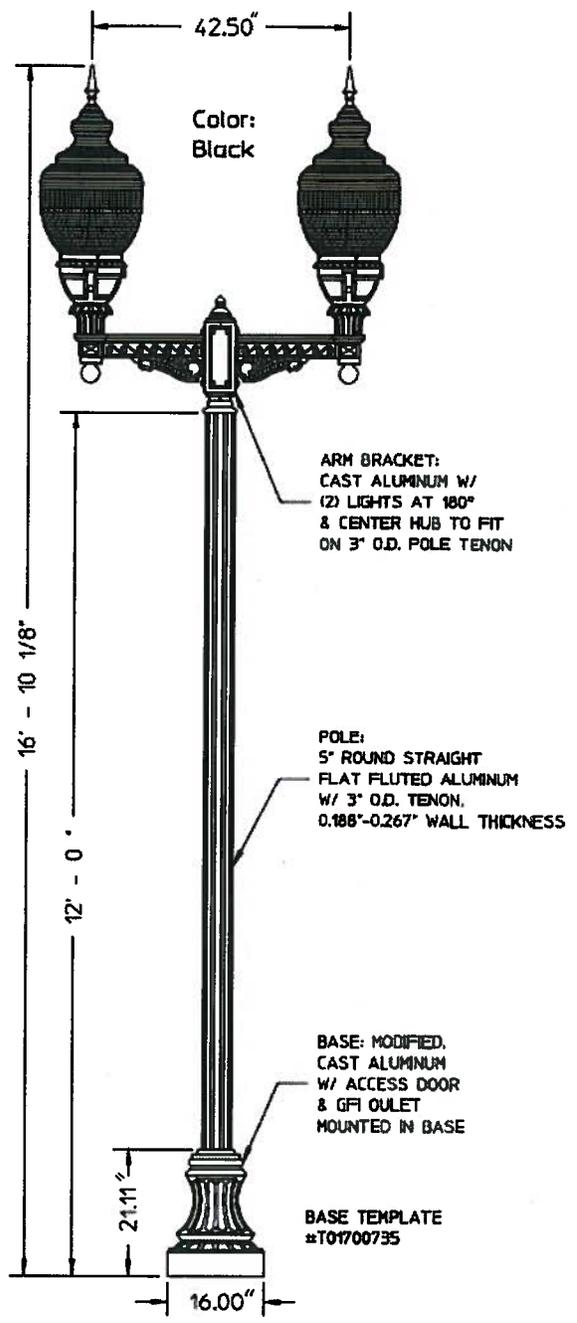


**Base Template Detail**



**SPECIFICATIONS:**

1. 80, 4000K (CCT) LUXEON REBEL ES LED'S ON ALUMINUM CORE PCB. SEALED ACRYLIC LENSE, IP66 RATED.
2. MIN 65 COLOR RENDERING INDEX (CRI).
3. 120-277 VAC, 50-60Hz AUTO SENSING.
4. 10KV/10KA SURGE SUPPRESSION BUILT IN.
5. OPTICS: TYPE III, WIDE BODY, ACRYLIC W/FULL TOP REFLECTOR.
6. FASTENERS: HEX HEAD BOLTS.
7. COLOR: BLACK.
8. PHOTO CONTOL: TWIST-LOCK RECEPTACLE.
9. COLOR TEMPERATURE: 4000K.
10. POLE HEIGHT: 10 FT, 12 FT (SHOWN), 14 FT, OR 16 FT.



**NOTE:**  
PARTS OF THE ENTIRE LIGHT ASSEMBLY SHALL BE AS SPECIFIED OR APPROVED EQUIVALENT

ORDERING GUIDE (PHILIPS HADCO): S5995A LUMINAIRE, SA5995C ARM BRACKET, SP5995 POLE, OR APPROVED EQUIVALENT

# ANTIQUE DOUBLE LIGHT ASSEMBLY

<p>The City of San Marcos Engineering and Capital Improvements</p>	<p>STANDARD DETAILS N.T.S</p>
<p>DRAWING: T:/DETAILS/ANTIQUE DOUBLE LIGHT ASSEMBLY</p>	<p>DATE: <u>APRIL 2012</u></p>

## **MODERN ASSEMBLIES**

**Modern Single Approved for use in:**

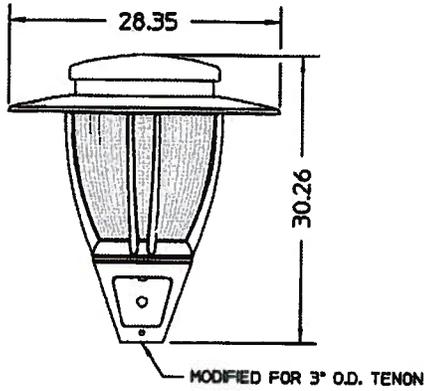
- Smart Code Transects T3, T4, T5
- As approved in Smart Code Special Districts (SD)

**Modern Double Approved for use in:**

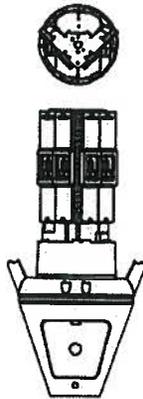
- Smart Code Transects T5
- As approved in Smart Code Special Districts (SD)

**NOTE: Tapered pole height other than 12' requires special approval.**

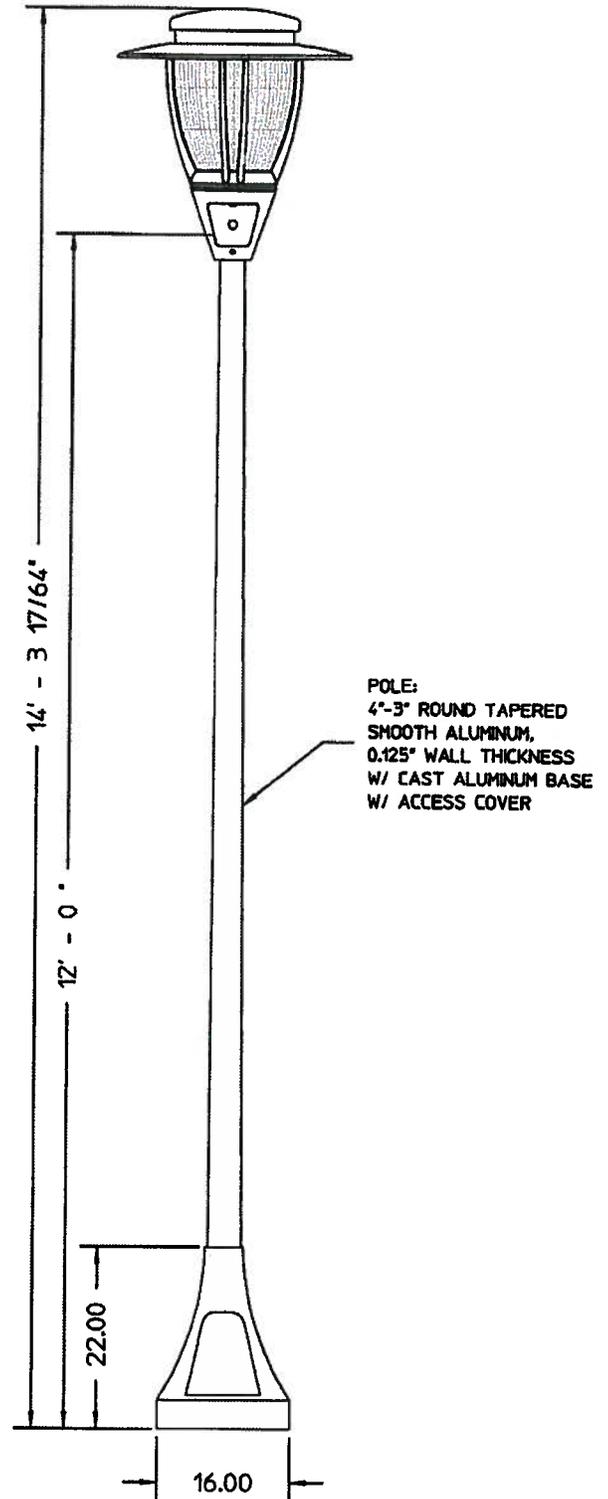
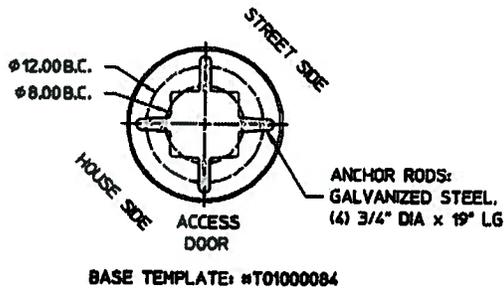
**Luminaire Detail**



**Top View  
LED Module Assembly**



**Base Template Detail**



**SPECIFICATIONS:**

1. 80, 4000K (CCT) LUXEON REBEL ES LED's ON ALUMINUM CORE PCB, SEALED ACRYLIC LENS, IP66 RATED, 60,000 HRS @ 25°C & 70% LUMEN MAINTENANCE, 0.99 POWER FACTOR.
2. PHILIPS ADVANCE XITANIUM LED DRIVER, 120-277 VAC, 50-60 Hz, 350mA DRIVE CURRENT, ADDITIONAL 10kV SURGE SUPPRESSION.
3. GLOBE: TYPE III, NARROW BODY, ACRYLIC
4. FASTENERS: ALLEN HEAD SET SCREWS
5. COLOR: BLACK
6. PHOTO CONTROL: TWIST-LOCK RECEPT.
7. COLOR TEMPERATURE: 4000K

**NOTE:**

PARTS OF THE ENTIRE LIGHT ASSEMBLY SHALL BE AS SPECIFIED OR APPROVED EQUIVALENT

ORDERING GUIDE (PHILIPS HADCO): S5995C LUMINAIRE, SP5995A POLE, OR APPROVED EQUIVALENT

# MODERN SINGLE LIGHT ASSEMBLY

The City of San Marcos  
Engineering and Capital Improvements

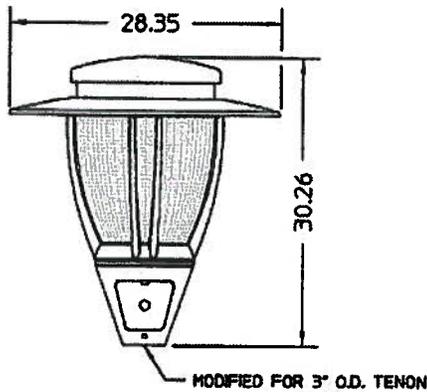
STANDARD DETAILS  
N.T.S.

DRAWING:

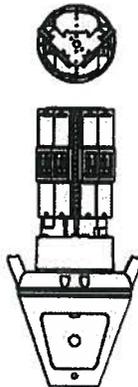
DATE: AUGUST 2012

17

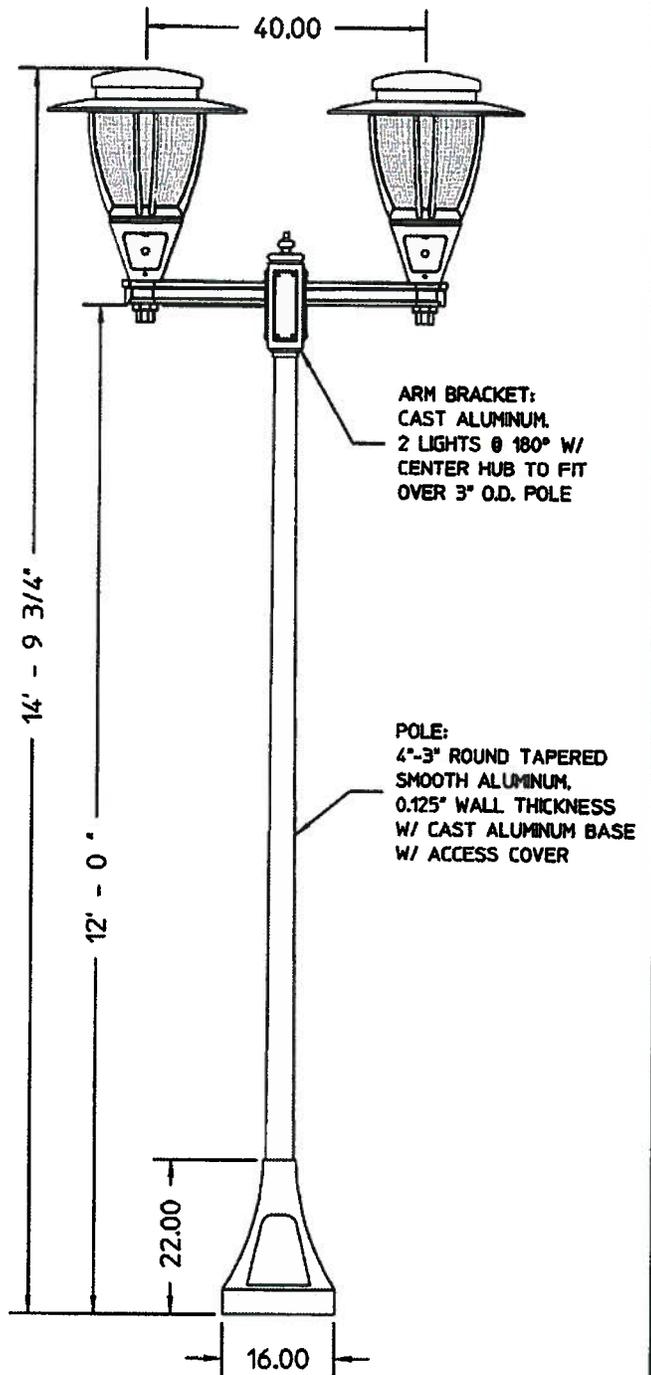
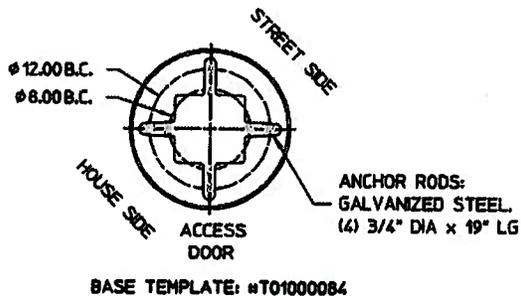
**Luminaire Detail**



**Top View  
LED Module Assembly**



**Base Template Detail**



**SPECIFICATIONS:**

1. 80, 4000K (CCT) LUXEON REBEL ES LED's ON ALUMINUM CORE PCB, SEALED ACRYLIC LENS, IP66 RATED, 60,000 HRS @ 25°C & 70% LUMEN MAINTENANCE, 0.99 POWER FACTOR.
2. PHILIPS ADVANCE XITANIUM LED DRIVER, 120-277 VAC, 50-60 Hz, 350mA DRIVE CURRENT, ADDITIONAL 10kV SURGE SUPPRESSION.
3. GLOBE: TYPE III, NARROW BODY, ACRYLIC
4. FASTENERS: ALLEN HEAD SET SCREWS
5. COLOR: BLACK
6. PHOTO CONTROL: TWIST-LOCK RECEPT.
7. COLOR TEMPERATURE: 4000K

**NOTE:**

PARTS OF THE ENTIRE LIGHT ASSEMBLY SHALL BE AS SPECIFIED OR APPROVED EQUIVALENT

ORDERING GUIDE (PHILIPS HADCO): S5995C LUMINAIRE, SA5995G ARM BRACKET, SP5995A POLE, OR APPROVED EQUIVALENT

# MODERN DOUBLE LIGHT ASSEMBLY

The City of San Marcos  
Engineering and Capital Improvements

STANDARD DETAILS  
N.T.S.

DRAWING:

DATE: AUGUST 2012

18